

Disclosure Packet

**Included are all known reports and disclosures
for 7860 Jonell Square, New Albany, Ohio**

**This property is being sold AS-IS with no contingencies of any kind.
You are strongly encouraged to review these reports.**



8044 Montgomery Road - Suite 306
Cincinnati, OH 45236
RELO OFFICE: (800) 321-3403
DIRECT PHONE: (513) 985-2768
DIRECT FAX: (513) 619-9319
www.sibcycline.com

ADDENDUM TO PURCHASE CONTRACT

This is an Addendum to the Purchase Contract dated _____

between Sibcy Cline Relocation Services as Seller, and _____

_____ as Buyer, with respect to property located at:

**7860 Jonell Square
New Albany, OH 43054**

In the event that any provisions of this Addendum conflict in whole or in part with any of the terms contained in the main body of this Purchase Contract, the provisions of this Addendum will control and the conflicting terms are hereby considered deleted and expressly waived by both Buyer and Seller.

Buyer understands that Seller is a relocation management company, and is a contract buyer that has never lived in or on the property. Seller has no knowledge of the condition of the property or any appurtenances other than matters disclosed in the property inspections or by the previous owner. The property being sold is not new, and Buyer hereby acknowledges that Buyer is not relying upon any representation by the Seller or any Real Estate Broker or Salesperson or any other person prior to or subsequent to the closing regarding the condition of the premises or of any of the appliances that may be contained therein, the size of the buildings or improvements, the lot size or boundaries, the presence or absence of toxic or hazardous substances or conditions, or any other matter concerning the Property.

Except as specifically set forth, Buyer is buying the premises and the contents in its present "AS IS" condition, and not in reliance on any representation or statement of Seller or any other person, unless such representative or statement appears on the Addendum.

Tests and Inspections: The following tests or inspections have been conducted in, on or with respect to the Property, and Buyer acknowledges receipt of the documentation specified below in regard to those tests or inspections:

Buyers' Initials _____

Addendum to Purchase
 7860 Jonell Square
 New Albany, OH 43054

Type of Test/Inspection	Documentation Received	
Whole House Inspection	RAL Inspection Services	08/20/2012
Pest Inspection	RAL Inspection Services	08/17/2012
Sprinkler Inspection	RAL Inspection Services	08/16/2012
Radon Test	RAL Inspection Services	08/07/2012
Whole House Inspection	Midwest Building Inspection Report	11/21/2012
RAL Inspection Services	response to Midwest Report (6 pages)	12/05/2012
Whole House Inspection	WIN Home Inspection	03/07/2013
Moisture Report	WIN Home Inspection (7 pages)	03/12/2013
Mold Test	Mold Inspection Sciences	03/22/2013
Stucco Inspection	G.E. Peters, Inc.	04/01/2013
CM Midwest, LLC	Engineer	04/03/2013

Buyer also acknowledges receipt of the following disclosure statement(s):

<u>Residential Seller's Property Disclosure Statement</u>	<u>Date</u>
State of OHIO Seller Disclosure Forms by Transferee	10/20/2012
State of OHIO Seller Disclosure Forms by Seller	01/03/2013
Sibcy Cline Relocation Services Disclosure Form by Transferee	11/06/2012

The above documents are being given to the Buyer for informational purposes only. They represent the opinions of the individuals or firms who prepared them. Seller makes no representations as to the accuracy of the information given and makes no agreement to undertake or perform action recommended in any of the reports. Buyer agrees that Buyer is not relying on the accuracy of these documents. Buyer shall be deemed to have accepted the condition of the premises and the contents as satisfactory and Seller shall have no liability with respect thereto. The provisions of this paragraph shall survive the delivery of the Deed and closing.

Pro-ration for taxes, assessments, and similar items will be based upon information available from the taxing or other applicable authorities, verifiable in writing, at the time of closing. All taxes, assessments, and similar items will be pro-rated to the day of closing. The pro-ration for the day of closing will be charged to the Buyer. There will be no repro-rations or adjustments after closing. *All pro-rations are final.*

In the event any assessments for municipal improvements is required, the Buyer shall be solely responsible for such assessment notwithstanding the date such assessment was imposed.

Execution of Purchase Contract and Addendum: Neither Seller nor Buyer is bound by the Purchase Contract or this Addendum unless and until the Purchase Contract and this Addendum are executed by both Seller and Buyer.

This provision shall survive delivery of the Deed and the closing.

Serviceability: In the event that any provision of this Addendum conflicts with the applicable law of the jurisdiction in which the Property is located, such conflict shall not affect other provisions of this Addendum which can be given effect without the conflicting provision.

 Buyer

Sibcy Cline Relocation Services
 8044 Montgomery Road - Suite 306
 Cincinnati, OH 45236

 Buyer

By: _____

 Date

 Date

Worldwide ERC® Relocation Property Assessment

IMPORTANT INFORMATION: Please Read Carefully

This document is a Property Assessment. It is not a buyer's home inspection.

This document should not be used in place of nor be mistaken for a general home inspection or specialty type inspection performed by a licensed or trades professional (e.g., professional home inspector, engineer, pest control operator, electrician, plumber, roofer or HVAC specialist, pool/spa specialist, etc.). This Property Assessment was prepared exclusively and for the sole use of the Client identified below (the "Client") under an established business-to-business relationship for the specific purposes of assisting with the relocation of an employee. It is not intended for use, nor is it to be relied upon, by any party other than the Client, including, but not limited to, buyers, sellers, lenders, real estate brokers/agents, and/or appraisers.

The Client may be required to provide this Property Assessment to other parties in order to comply with disclosure obligations under applicable federal, state and/or local law(s); however, no disclosure of this Property Assessment to other parties, including prospective buyers, shall be deemed to create or give rise to a duty of care or performance on the part of the Property Assessment Provider identified below or the Client toward such other parties. Accordingly, no party other than the Client may rely upon or be influenced by this Property Assessment when considering the property. The Property Assessment Provider prepared this Property Assessment in accordance with Client directives and based it on findings gathered at the property address identified below and other property information sources.

SECTION 1. GENERAL INFORMATION

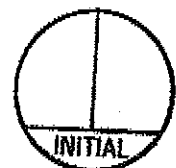
File #: Simpson/SD	Client: Sibcy Cline Relocation Services, Inc		
Contact: Sandra Yaeger	Phone: 513-985-2666	Fax:	
E-mail Address: syaeger@sibcycline.com			
Client Address: 8044 Montgomery Road Suite #306			
City/State/Postal Code: Cincinnati , OH 45236			
Transferee(s): Rodney Simpson			
Transferee Property Address: 7860 Jonell Square			
City/State/Postal Code: New Albany , OH 43054			
Property Assessment Provider: RAL Inspection Services	Job/File#: 184656		
Reviewer: Greg La Mar	Phone: 800-766-2366 x306	Email: glamar@ralis.com	
Date: 8/13/2012	Time: 9:00 AM	Weather: Cloudy	Temp: 65 Est. Age of Main Dwelling (yrs): 13
Parties Present at Time of Assessment: Homeowner			Occupied: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

SECTION 2. PURPOSE AND SCOPE OF THE RELOCATION PROPERTY ASSESSMENT

To provide a professional opinion of a relocating employee's main dwelling and its immediate surrounding area in its "as is" condition, as of the date of assessment, limited to the definitions and guidelines as established by the Client and within this Property Assessment document.

SECTION 3. OBJECTIVE OF THE RELOCATION PROPERTY ASSESSMENT

To provide the Client with data about a relocating employee's main dwelling and its immediate surrounding area, based on a visual assessment of items identified by category in this Property Assessment document.



SECTION 4. DEFINITION OF THE RELOCATION PROPERTY ASSESSMENT

A visual, non-invasive evaluation and status report of the items identified by category on the ensuing pages. The reporting of apparent defects (not cosmetic deficiencies) that call for corrective action is limited to three categories: 1) structure; 2) unsafe or hazardous conditions; and 3) inoperative systems or appliances.

1. **Structure:** A load-bearing member of a building (including, but not limited to, footings, foundation walls, posts, beams, floor joists, bearing walls, or roof framings), is to be reported as defective if it has one or more of these characteristics:

- Abnormal cracking or splitting;
- Unusual settlement;
- Deterioration such as rot or pest infestation damage;
- Improper alignment or structural integrity compromised by modification or abuse; or
- Other characteristics that affect the building's structural integrity.

2. **Unsafe or Hazardous Conditions:** Any item that is identified as a safety defect or a hazard, the presence or absence of which would be dangerous. Unless directed by the Client, the reporting of the possible presence of lead-based paint, asbestos, urea-formaldehyde foam insulation, radon, electromagnetic radiation, toxic wastes, molds or fungus, emission of gas from any building materials, and any other environmental or indoor pollutants are outside the scope of this Property Assessment.

3. **Inoperative Systems and Appliances:** Any installed systems or built-in appliances that do not operate properly or perform their intended function in response to normal use.

Unless directed by the Client, the following areas are outside the scope of this Assessment: (i) cosmetic deficiencies; (ii) deferred maintenance items; (iii) the condition of on-site waste and water systems; (iv) the condition of underground fuel storage tanks; (v) the quality of the water supply; (vi) geological hazards such as floods, erosion, earthquakes, landslides, mudslides and volcanoes; and, (vii) governmental or lender requirements. Furthermore, this Property Assessment is not a representation of compliance or noncompliance with federal, state, or local government regulations and codes (e.g., building codes, zoning ordinances, energy efficiency ratings, addition or remodeling permits, etc.).

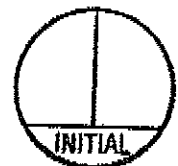
Estimated costs to correct items identified in this Property Assessment as defective and/or items that may require attention are not bids and do not give rise to performance obligations on the part of the Property Assessment Provider. The Property Assessment Provider is not engaged in the business of providing repair, renovation or improvement services; as such, the Property Assessment Provider has not and cannot determine the actual cost of any repairs, renovations or improvements that may be advised or desired. The cost estimates reflect national, state and/or local cost averages as derived from the review of cost estimator manuals and other information sources by the Property Assessment Provider; all cost estimates should be followed by firm quotes or bids from qualified, reputable contractors.

SECTION 5. STATUS DEFINITIONS

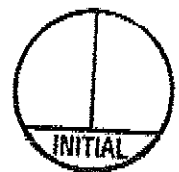
For each category, when applicable, rate the status of each item by checking the box as follows:

- AC= Acceptable: The item is performing its intended function as of the date of the assessment.
- NP= Not present: The item does not exist in the structure being assessed.
- NA= Not Assessed: The item was not assessed because of inaccessibility or seasonal impediments.
- DE= Defective: The item is either: structurally unsound; unsafe or hazardous; or inoperative, as defined in section 4 above.

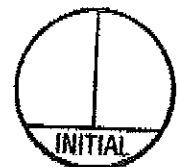
Please include comments in the corresponding "Remarks" column for those items rated as Defective or Not Assessed.



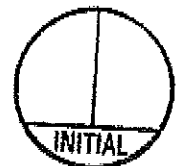
ITEM	REMARKS
LOTS & GROUNDS (LG)	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Walks:
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Stoops/Steps:
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Patio:
4 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Deck/Balcony:
5 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Porch:
6 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Retaining Walls:
7	SURFACE WATER CONTROL:
8 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Grading: NOTE: Grade slopes toward window well at the left front of the house.
9 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Swales:
10 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Basement Stairwell Drain:
11 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Window Wells: NOTE: Debris noted in window well. Maintenance.
12 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Exterior Surface Drain:
ROOF (R)	
1	METHOD OF ASSESSMENT: From ground with binoculars.
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Roof#1: Asphalt Shingles Approx. Age: 13 Design Life: 15-20
3 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Roof#2: Approx. Age: Design Life:
4 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Roof#3: Approx. Age: Design Life:
5 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Roof#4: Approx. Age: Design Life:
6 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Roof#5: Approx. Age: Design Life:
7 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Flashing:
8 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Skylights:
9 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Chimney: See below.
10	ROOF WATER CONTROL:
11 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Gutters:
12 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Downspouts & Extensions: See below.
<p>R-1 NOTE: The roof was viewed from the ground with binoculars due to height restrictions.</p> <p>R-9: The assessment of exterior chimney components can be limited by design or accessibility with areas that are beyond the scope of this visual assessment.</p> <p>R-12 Down spout is misaligned from connection to sub surface drain right of front door.</p>	
<p>Client: Siboy Cline Relocation Services, Inc Client File #: Simpson/SD</p>	



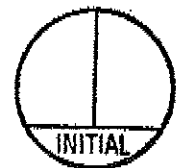
ITEM	REMARKS
EXTERIOR SURFACES (ES)	
1 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Surface#1: Hard Coat Stucco - Cracks noted in stucco above generator and in chimney.
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Surface#2: Stone
3 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Surface#3:
4 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Trim:
5 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Fascia:
6 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Soffits:
7 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Windows:
GARAGE / CARPORTS (G/C)	
	<input checked="" type="checkbox"/> Garage <input type="checkbox"/> Carport <input checked="" type="checkbox"/> Attached <input type="checkbox"/> Detached
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Door Operation:
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Automatic Door Opener:
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Condition: Limited assessment of the garage due to stored items.
STRUCTURE (S)	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Foundation:
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Beams:
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Bearing Walls:
4 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Joists/Trusses:
5 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Piers/Posts:
6 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Floor/Slab:
7 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Hand Rails:
ATTIC (A)	
1	METHOD OF ASSESSMENT: Entered
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Roof Framing:
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Sheathing:
4 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Ventilation:
5 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Attic Fan:
6 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Whole House Fan:
7 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Evidence of water penetration? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, describe:
	NOTE: Assessment of attic was limited to approximately 90% that was accessible.
Client: Sibcy Cline Relocation Services, Inc Client File #: Simpson/SD	



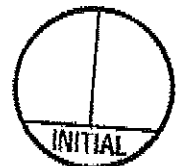
ITEM	REMARKS
BASEMENT (B)	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Sump Pump:
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Floor:
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Heat:
4 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Evidence of water penetration? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe:
<u>Basement wall was wet and in direct contact with insulation, making the insulation wet. Area found wet was around the water meter.</u>	
CRAWL SPACE (CS)	
1	METHOD OF ASSESSMENT: Entered
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Moisture:
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Access:
4 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Evidence of water penetration? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, describe:
ELECTRICAL (E)	
1	Amps: 200 Volts: 120/240
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Service Cable:
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Panel:
4 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Branch Circuits: Loose receptacle noted in green bedroom, right of closet.
5 <input type="checkbox"/> AC <input type="checkbox"/> NP <input checked="" type="checkbox"/> NA <input type="checkbox"/> DE	Ground: Ground termination was not located.
6 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Wire Conductor:
7 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	GFI:
8 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Smoke Detector:
9 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Is the size of the incoming electrical service adequate to meet the needs of the dwelling? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
NOTE: Generator was not assessed. This is outside the scope of the ERC.	
Client: Sibcy Cline Relocation Services, Inc Client File #: Simpson/SD	



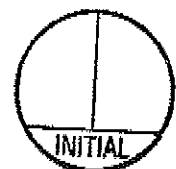
ITEM		REMARKS	
HEATING SYSTEM (HS)			
1	Primary: Forced Air	Approx. Age: 13	Design Life: 15-20
2	Additional:	Approx. Age:	Design Life:
3	Fuel(s): Gas		
4	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Primary Operation:	
5	<input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Additional Operation:	
6	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Draft Control:	
7	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Exhaust System:	
8	<input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Distribution: HVAC duct is disconnected in crawl space.	
9	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Fuel Tanks/Lines:	
10	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Thermostat:	
11	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Blower:	
12	<input type="checkbox"/> AC <input type="checkbox"/> NP <input checked="" type="checkbox"/> NA <input type="checkbox"/> DE	Humidifier: See below.	
13	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Heat Exchanger: Limited visibility by design.	
14	<input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Pressure Relief Valve(s):	
15	<input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Circulator Pump:	
<p>HS-12 Ambient humidity did not allow for humidifier to activate at time of inspection. Humidifier was not assessed.</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>			
AIR CONDITIONING SYSTEM (AC)			
1	Type: Central	Fuel: Electric	
2	Approx. Age: <1	Design Life: 10-15	
3	<input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	System:	
<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>			
Client: Sibcy Cline Relocation Services, Inc		Client File #: Simpson/SD	



ITEM	REMARKS
PLUMBING (P)	
1	Water Source: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Undetermined How Verified? Visual
2	Sewage Service: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Undetermined How Verified? Visual
3	Water Service On? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
4 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Water Pipes:
5 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Drain Pipes:
6 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Vent Pipes:
7 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Laundry Tub:
8 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Water Pressure:
9 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Toilet : Toilet base is loose in boys bathroom.
10 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Tub/Shower: Grout/caulk is missing from tile joint in master shower.
11 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Exhaust Fan:
12 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Sink:
13	WATER HEATER: Approx. Age (yrs): 4 Approx. Design Life (yrs): 10-15
14 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Water Heater:
15 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Exhaust System:
16 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Temperature/Pressure Relief Valve:
ON-SITE SEWAGE DISPOSAL (SD)	
1 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	System Operation:
WELL (W)	
1	<input type="checkbox"/> Private <input type="checkbox"/> Community;
2 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Pump:
3 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Shower Pressure (Top Floor):
4	Water sample sent to lab? <input type="checkbox"/> Yes <input type="checkbox"/> No Date Sent:
5	Is there a minimum flow of 3 gallons per minute (gpm) after 30 minutes? <input type="checkbox"/> Yes <input type="checkbox"/> No
6	If no, state number of gallons per minute after 30 minutes: gpm
Client: Sibcy Cline Relocation Services, Inc Client File #: Simpson/SD	



ITEM	REMARKS
POOL AND HOT TUB (P/T)	
1	Pool Type: _____ Hot Tub Type: _____
2 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Pool: _____
3 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Deck/Apron: _____
4 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Heater: _____
5 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Pump: _____
6 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Filter: _____
7 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Fence: _____
8 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Hot Tub: _____
FIREPLACE (FP)	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Fireplace: _____
2 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Free-standing Stove: _____
3 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Fireplace Insert: _____
4 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Flue: Debris noted above damper in fireplace.
KITCHEN (K)	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Cooking Appliances: _____
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Disposal: _____
3 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Dishwasher: _____
4 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Ventilator: _____
5 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Other Built-ins: _____
FINAL COMMENTS	
Were any other unsafe or hazardous conditions observed during the assessment that are not specifically designated on this Property Assessment document? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please explain: _____ _____ _____	
Number of additional pages appended to this Property Assessment: <u> 9 </u>	
The Property Assessment Provider identified below hereby certifies adherence to the terms of the assignment as set forth in the Definitions. Property Assessment Provider Name: <u> RAL Inspection Services </u> Date: <u> 8/17/12 </u>	
Client: <u> Sibcy Cilne Relocation Services, Inc </u> Client File #: <u> Simpson/SD </u>	



RAL RELOCATION PROPERTY ASSESSMENT ADDENDUM

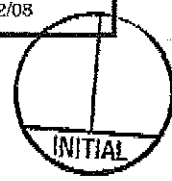
ITEM	REMARKS
ROOMS & DOORS (RD)	
Do not report cosmetic defects	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Walls and ceilings: NOTE: Settlement crack noted in garage wall. NOTE: Drywall damage
2 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Floors: < was noted on master bathroom wall. Maintenance.
3 <input type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input checked="" type="checkbox"/> DE	Doors: Entry closet doors do not latch.
4 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Closets:
5 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Stairs, Balconies & Railings:

DRIVEWAYS (D)	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Driveway:

ATTIC MATERIALS (AM)	
1 <input checked="" type="checkbox"/> AC <input type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Attic Insulation Type: Blown Fiberglass. Thickness: 14 in. Est. R Value: 42
2 <input type="checkbox"/> AC <input checked="" type="checkbox"/> NP <input type="checkbox"/> NA <input type="checkbox"/> DE	Fire Rated Plywood, if present provide brand:
	Attic Materials Comments:

ENVIRONMENTAL (ENV)	
	During the course of this assessment did you observe any of the following conditions which merits additional investigation? If yes, please describe.
1	Asbestos: <input type="checkbox"/> yes <input checked="" type="checkbox"/> no <input type="checkbox"/> suspected
	Location:
2	Underground Storage Tank(s): <input type="checkbox"/> yes <input checked="" type="checkbox"/> no <input type="checkbox"/> suspected
	Location:
3	Other / Comments:
	<p><u>Suspected mold has been found on ceiling of the left rear bedroom and the wall around receptacle beneath window in the den. General clean up and repairs are needed to help prevent future concerns. See attached RAL Indoor Air Quality (mold/fungus) disclaimer.</u> <u>This area tested dry at time of assessment. Past and future performance is unknown.</u></p>

***Notice: This Inspection Addendum is not part of the Worldwide ERC® Property Assessment.**



RELOCATION PROPERTY ASSESSMENT SUMMARY/COST ESTIMATE		
Record on this summary page, the corrective action(s) required for all items determined to be defective, including the estimated cost of repairs, and explain any items reported as "Not Assessed". As noted in section 4 above, these estimates are not bids, nor intended to be used as such.		
SECTION	REMARKS	EST. COST
R-12	Qualified general contractor to correct as determined necessary: a) Down spout is misaligned from connection to sub surface drain right of front door.	
ES-1	Qualified stucco contractor to correct as determined necessary: a) Cracks noted in stucco above generator and in chimney. <i>SEE STUCCO CONTRACTOR E-MAIL</i>	TBD
B-4	Further evaluation of the basement walls by a qualified moisture intrusion specialist contractor is needed due to, but not limited to, the following concerns: a) Basement wall was wet and in direct contact with insulation, making the insulation wet. Area found wet was around the water meter. All basement walls should be checked for moisture intrusion.	
E-4	Qualified electrical contractor to correct as determined necessary: a) Loose receptacle noted in green bedroom, right of closet. <i>CORRECTED BY HOMEOWNER</i>	
HS-7	Qualified contractor to correct as determined necessary: a) HVAC duct is disconnected in crawl space.	
P-9, 10	Qualified plumbing contractor to correct as determined necessary: a) Toilet base is loose in boys bathroom. b) Grout/caulk is missing from tile joint in master shower. <i>CORRECTED - ALUMA - CLEAN INVOICE</i>	
FP-4	Qualified contractor to correct as determined necessary: Debris noted above damper in fireplace. <i>CORRECTED BY HOMEOWNER</i>	
RD-3	Qualified interior trim contractor to correct as determined necessary: a) Entry closet doors do not latch.	
ENV-3	Suspected mold has been found on ceiling of the left rear bedroom and the wall around receptacle beneath window in the den. General clean up and repairs are needed to help prevent future concerns. See attached RAL Indoor Air Quality (mold/fungus) disclaimer. <i>CORRECTED - TIM TRANKLE INVOICE</i> <u>NOT ASSESSED</u>	
HS-12	Ambient humidity did not allow for humidifier to activate at time of inspection. Humidifier was not assessed. <u>ADDITIONAL INFORMATION</u> If estimated costs are shown above, they were provided by a home inspector with only a general knowledge of potential costs. RAL recommends that at least one qualified repair contractor provide a more accurate and detailed bid for these repairs prior to closing. The photos sent with this report may not reflect all defects and/or locations of needed repairs noted within the body or summary pages of the report. Please read the report in its entirety.	FYI FYI FYI
Please note this summary is only part of the report. Items listed on the summary page are for our client's convenience. The entire report should be read as additional valuable information may be in the report and not on the summary page.		\$0.00
Total Estimated Cost: Total Estimated Cost		\$0.00
Transferee(s): Rodney Simpson		Client File #: Simpson/SD
Transferee Property Address: 7860 Jonell Square		Client: Sibcy Cline Relocation Services, Inc
City/State/Zip Code: New Albany, OH 43054		
*Estimated costs to correct items identified in this Property Assessment as defective and/or items that may require attention are not bids and do not give rise to performance obligations on the part of the Property Assessment Provider. Not provided in localities where prohibited.		
Client: Sibcy Cline Relocation Services, Inc		Client File #: Simpson/SD



From: Dustin Wilshire [mailto:dwilshire@reitterstucco.com]

Sent: Thursday, November 08, 2012 8:02 AM

To: Simpson, Rod

Subject: Stucco Cracks

ES-1

Rod,

As we discussed yesterday, cracks are common in every stucco system. Being a cement-based product, it is natural for cracks to develop at any place on a stucco wall but are particularly more prevalent at areas of higher stress such as the corners of windows and doors, transition from framing members to foundation, and any other area that is exposed to movement of underlying building materials.

As for repairs, we don't recommend doing anything to hairline cracks; attempting to caulk or patch will highlight them and make them look worse. As a rule-of-thumb, anything too narrow to slip a quarter into needs to be left alone. There is 5/8"-7/8" of stucco base coat underneath the finish coat and (if done properly) there are weather barriers installed behind the stucco to prevent moisture intrusion.

Hope this helps and let me know if you have any questions. Thank you,

--

Dustin Wilshire

Reitter Stucco & Supply Company

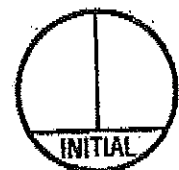
1100 King Avenue

Columbus, OH 43212-2262

Email: dwilshire@reitterstucco.com

Phone: (614) 291-2212 ext. 11

Fax: (614) 291-2602



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Albert J. Mansour Jr.

FAX: (614) 890-4352

5102 Grasshopper Lane • Westerville, Ohio 43081

Simpson
 7860 Jonnell Square
 New Albany, Ohio 43054

October 24, 2012

DESCRIPTION	AMOUNT
<u>Master Bath</u>	
Remove caulk in shower stall Base and Re caulk	95 00
<u>Main Bath</u>	
Recaulk Tub to tile extension of tub	35 00

PAYMENT DUE UPON RECEIPT

INVOICE

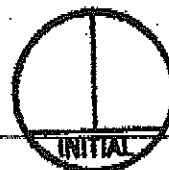
SUB TOTAL

130 00

TAX

TOTAL

130 00



*Jim Reamble
(614) 216-8282*

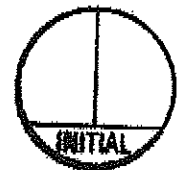
INVOICE NO. 275702

Invoice

BILL TO	SERVICE PERFORMED AT		DATE
<i>Red Simpson</i>	<i>Same</i>		<i>10-11-12</i>
ADDRESS	ADDRESS		
<i>7860 Powell Sq.</i>			
CITY, STATE, ZIP	CITY, STATE, ZIP		
<i>43054</i>			
CUSTOMER ORDER NO.	SOLD BY	TERMS	
1) drywall repair/office wall/quiet room ceiling			<i>3</i>
2) garage ceiling/repair & paint			<i>225.00</i>
3) repaint/quiet room ceiling			<i>150.00</i>
4) daughter's room & bath/paint walls & coats additional work			<i>50.00</i>
5) quiet room/repaint walls, 2 coats			<i>275.00</i>
6) office/paint accent wall			<i>210</i>
			<i>70</i>
			<i>128</i>
			<i>32</i>
			<i>25</i>
			<i>20</i>
<i>paint - 4 gal. flat @ 32.00</i>			
<i>1 gal. eggshell 37.00</i>			
<i>1 gal. white / office</i>			
<i>1 gal. ceiling white</i>			
<i>Total</i>			<i>1185.00</i>

Andrew

adams 1010145



16848 Southpark Drive, #100
Westfield, IN 460742
Toll Free 800/766-2366
Fax 800-472-6355
Email info@ralis.com



RAL INDOOR AIR QUALITY DISCLAIMER

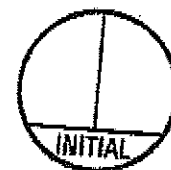
Indoor Air Quality (IAQ) services, including those associated with mold/fungus, emission of gas from any building material and/or any other indoor air pollutants are not a part of this inspection report. RAL has performed no inspections or testing for the presence or absence of any indoor air pollutants unless expressly and separately contracted for and separately reported. Inspecting and testing of IAQ is outside the scope of this inspection.

Readily visible mold/fungus, conditions conducive to mold/fungus growth and/or other indoor air pollutants may be noted in the report for informational purposes only. Clients who desire IAQ testing of any structure or material, or who may desire remediation are advised to seek further evaluations by IAQ experts who can determine if further testing and remediation may be warranted.

RAL may, at our discretion and for additional fees, arrange for specific IAQ evaluations by professionals to determine the need for testing and remediation of specific indoor air pollutants.

Clients who desire additional IAQ information can obtain it from the federal Environmental Protection Agency (EPA) at:

Website: www.epa.gov
Email: iaqinfo@aol.com
Phone: 1-800-438-4318
Mail: U.S. EPA/Office of Radiation and Indoor Air
Indoor Environments Division
1200 Pennsylvania Avenue, NW
Mail Code 6609J
Washington, DC 20460





Customer: **Sibcy Cline Relocation Services, Inc**
Inspection Location: **Rodney Simpson**
7860 Jonell Square
New Albany, OH 43054

Page: 1 of 6

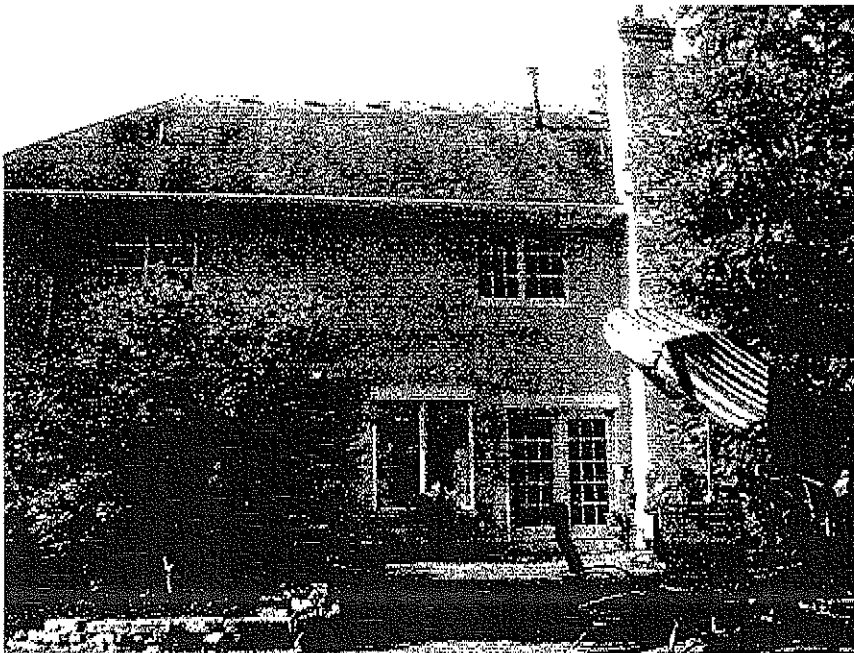
File #: **Simpson/SD**



Line Item #:

Description:

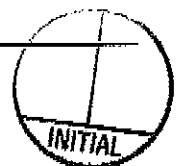
Front view



Line Item #:

Description:

Rear view



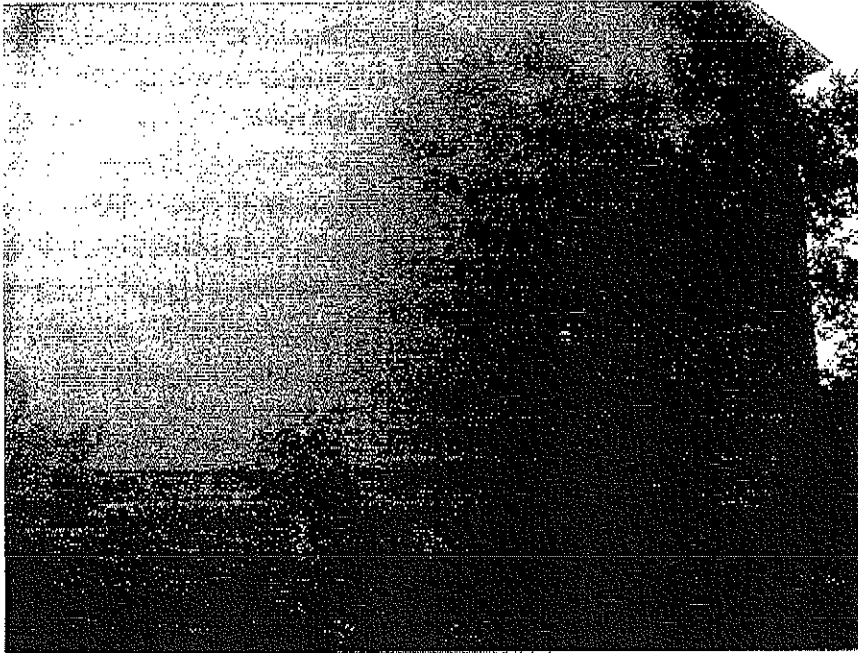


Customer: **Sibcy Cline Relocation Services, Inc**

Inspection Location: **Rodney Simpson
7860 Jonell Square
New Albany, OH 43054**

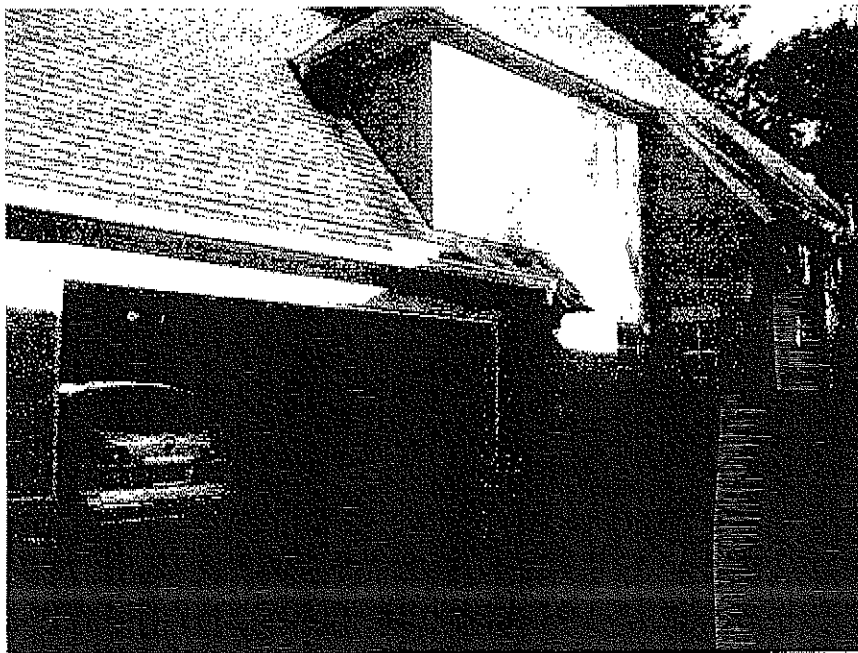
Page: 2 of 6

File #: **Simpson/SD**



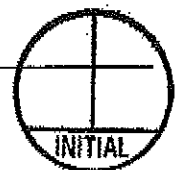
Line Item #:

Description:
Left view



Line Item #:

Description:
Right view





Customer: **Sibcy Cline Relocation Services, Inc**

Inspection Location: **Rodney Simpson
7860 Jonell Square
New Albany, OH 43054**

Page: **3 of 6**

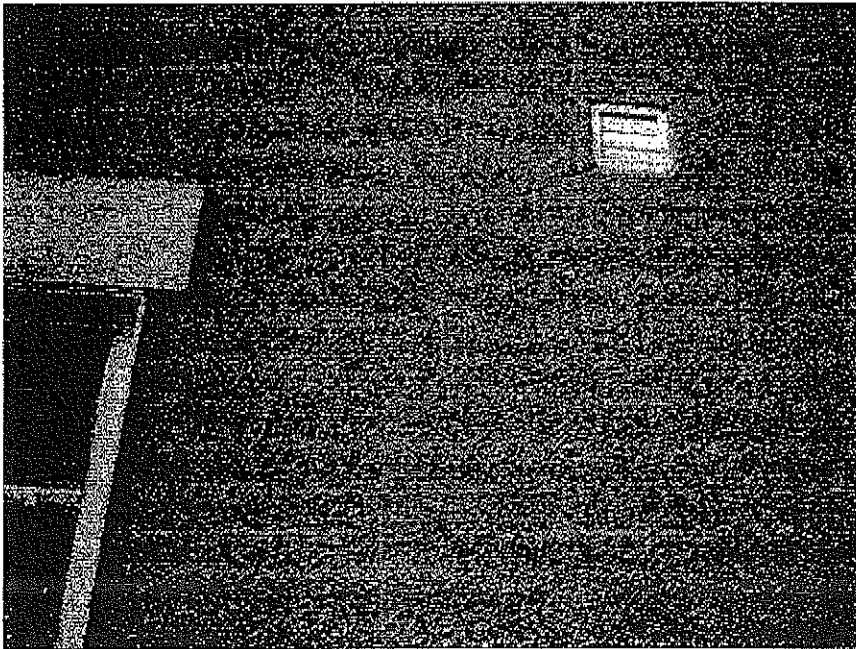
File #: **Simpson/SD**



Line Item #: **R12**

Description:

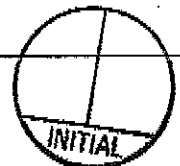
**Down spout is misaligned
from connection to sub
surface drain.**



Line Item #: **ES1**

Description:

**Crack in stucco above
generator.**





Customer: **Sibcy Cline Relocation Services, Inc**

Inspection Location: **Rodney Simpson
7860 Jonell Square
New Albany, OH 43054**

Page: 4 of 6

File #: Simpson/SD



Line Item #: G/C3

Description:

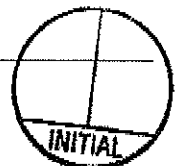
Limited assessment of the garage due to stored items.



Line Item #: HSB

Description:

HVAC duct is disconnected in crawl space.





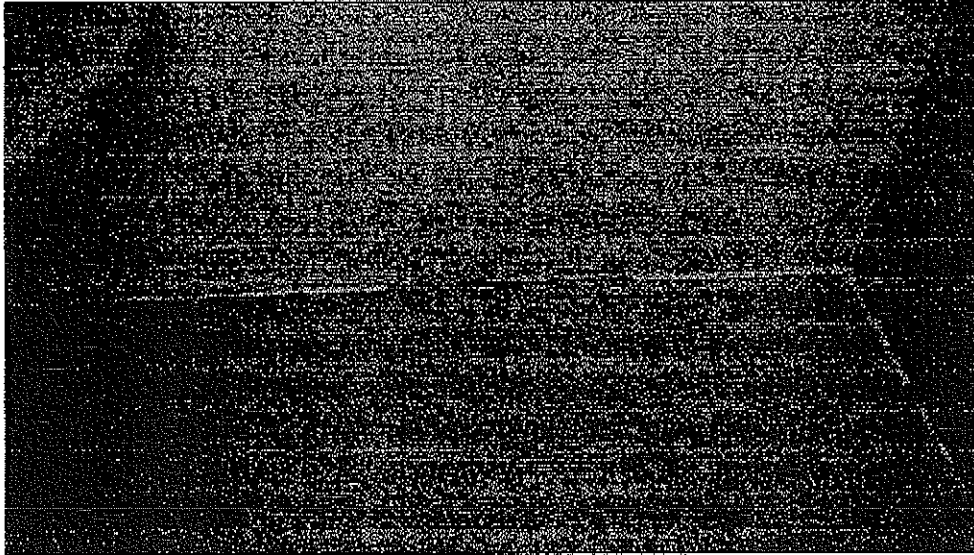
Customer: **Sibcy Cline Relocation Services, Inc**

Inspection Location: **Rodney Simpson
7860 Jonell Square
New Albany, OH 43054**

Page: 5 of 6

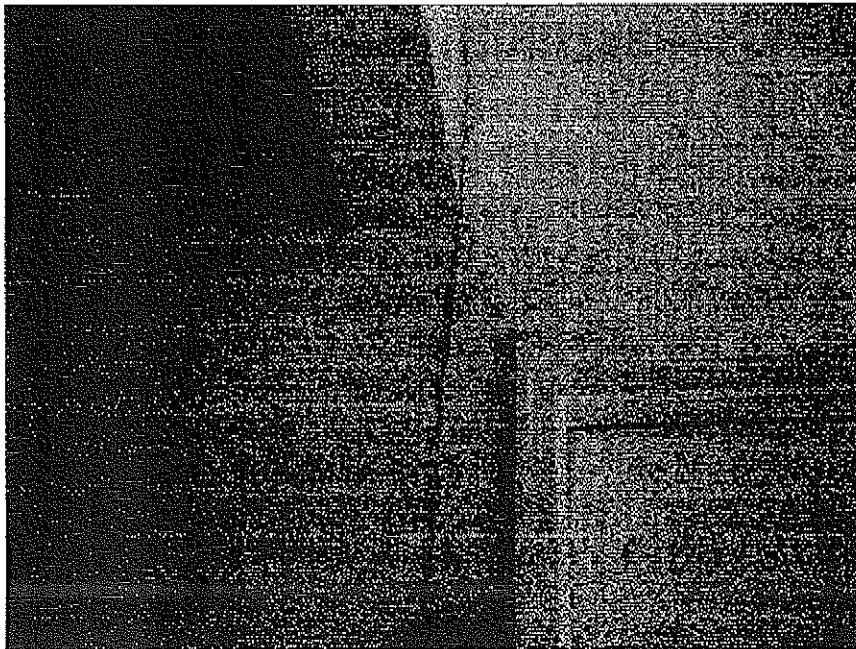
File #: **Simpson/SD**

Line Item #: **P10**



Description:

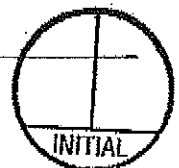
Grout/caulk is missing from tile joint in master shower.



Line Item #: **RD1**

Description:

NOTE: Settlement crack noted in garage wall.





Customer: **Sibcy Cline Relocation Services, Inc**

Inspection Location: **Rodney Simpson
7860 Jonell Square
New Albany, OH 43054**

Page: 6 of 6

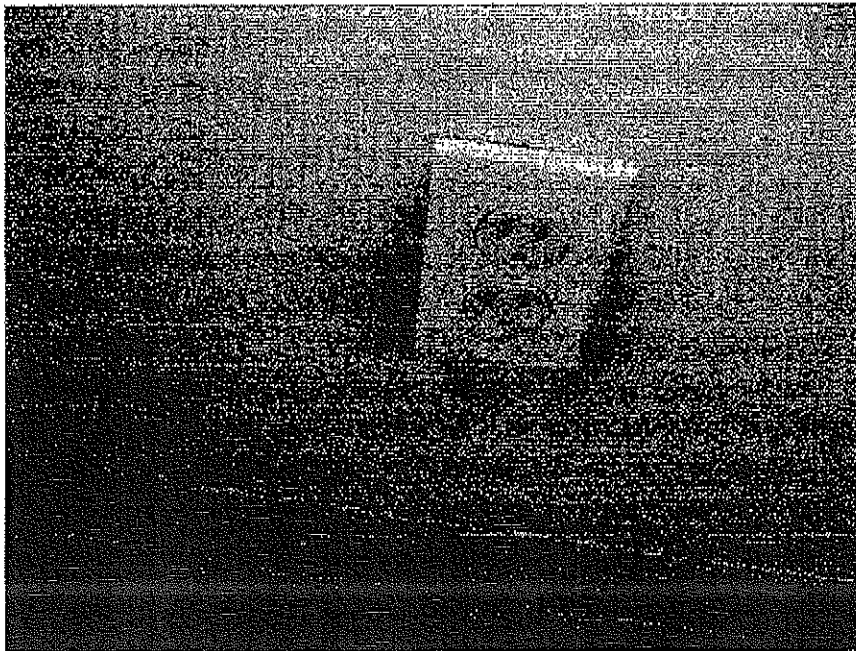
File #: **Simpson/SD**



Line Item #: **RD1**

Description:

NOTE: Drywall damage was noted on master bathroom wall. Maintenance



Line Item #: **ENV3**

Description:

Suspected mold has been found on wall around receptacle beneath window in the den. General clean up and repairs are needed to help prevent future concerns. See attached RAL Indoor Air Quality (mold/fungus) disclaimer. This area test dry at time of assessment. Past and future performance is unknown.



Cover Page

16848 Southpark Dr, #100
Westfield, IN 46074-8898
317-867-7688
fax 317-867-9964



Customer Information Date: 8/17/2012

File # Simpson/SD	Location:
Customer: Sibcy Cline Relocation Services, Inc	Rodney Simpson
Attention: Sandra Yaeger	7860 Jonell Square
Cincinnati OH	New Albany OH 43054
Fax #	
Phone # 513-985-2666	

Type of Service	Estimated Repair Cost
<input type="checkbox"/> Radon ---->	Result: pCi/L
<input type="checkbox"/> Home Assessment---->	<input type="checkbox"/> Clear <input type="checkbox"/> Not Clear
<input checked="" type="checkbox"/> Pest ----> Inspection with RAL 180-day guarantee	<input checked="" type="checkbox"/> Clear <input type="checkbox"/> Not Clear
<input type="checkbox"/> Well ---->	<input type="checkbox"/> Clear <input type="checkbox"/> Not Clear
<input type="checkbox"/> Septic Evaluation ---->	<input type="checkbox"/> Clear <input type="checkbox"/> Not Clear
<input type="checkbox"/> Pool / Spa ---->	<input type="checkbox"/> Clear <input type="checkbox"/> Not Clear
<input type="checkbox"/> Other #1 ---->	<input type="checkbox"/> Clear <input type="checkbox"/> Not Clear
<input type="checkbox"/> Other #2 ---->	<input type="checkbox"/> Clear <input type="checkbox"/> Not Clear
<input type="checkbox"/> Extra Miles	

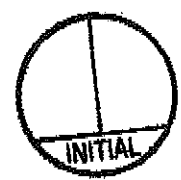
Service Summary

The attached report indicates that no visible evidence of active wood destroying insects was observed in visible and accessible areas at the time of this inspection. See report for further information.

Thank you for your business.

Please contact the reviewer below with any questions on this report:
Greg La Mar 800-766-2366 ext 306 or glamar@ralis.com

ALWAYS read entire report for detailed information.



Wood Destroying Insect Inspection Report

Notice: Please read important consumer information on page 2.

Section I. General Information
Inspection Company, Address & Phone **614-539-6881**

Company's Business Lic. No.
35137

Date of Inspection
8/13/12

PRECISION PEST INSPECTIONS, INC.
P.O. Box 21089
Columbus, Ohio 43221

Address of Property Inspected
**7840 Jewell Se.
New Albany Ohio 43054**

Inspector's Name, Signature & Certification, Registration, or Lic. #

107291 93839

Structure(s) inspected

House & Garage

Section II. Inspection Findings (This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or defects. Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:

- A. No visible evidence of wood destroying insects was observed.
- B. Visible evidence of wood destroying insects was observed as follows:
 - 1. Live insects (description and location): _____
 - 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): _____
 - 3. Visible damage from wood destroying insects was noted as follows (description and location): _____

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Yes No It appears that the structure(s) or a portion thereof may have been previously treated. Visible evidence of possible previous treatment:

The inspecting company can give no assurances with regard to work done by other companies. The company that performed the treatment should be contacted for information on treatment and any warranty or service agreement which may be in place.

Section III. Recommendations

- No treatment recommended: (Explain if Box B in Section II is checked): _____
- Recommend treatment for the control of: _____

Section IV. Obstructions and Inaccessible Areas

The following areas of the structure(s) inspected were obstructed or inaccessible:

- Basement **1, 3, 4, 5, 7, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100**
- Crawlspace **4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100**
- Main Level **1, 3, 4, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100**
- Attic **1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100**
- Garage **1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100**
- Exterior **1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100**
- Porch _____
- Addition _____
- Other _____

The inspector may write out obstructions or use the following optional key:

- 1. Fused ceiling
- 2. Suspended ceiling
- 3. Fixed wall covering
- 4. Floor covering
- 5. Insulation
- 6. Cabinets or shelving
- 7. Stored items
- 8. Furnishings
- 9. Appliances
- 10. No access or entry
- 11. Limited access
- 12. No access beneath
- 13. Only visual access
- 14. Cluttered condition
- 15. Standing water
- 16. Dense vegetation
- 17. Fence or siding
- 18. Window well cover
- 19. Wood pile
- 20. Snow
- 21. Unsafe conditions
- 22. High trim board
- 23. Synthetic stucco
- 24. Duct work, plumbing, and/or wiring

Section V. Additional Comments and Attachments (these are an integral part of the report)

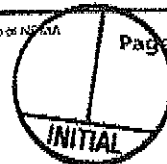
Attachments _____

Signature of Seller(s) or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

Signature of Buyer. The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X



Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. This report is not a guarantee or warranty as to the absence of wood destroying insects or is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

1. **About this Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage may disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. *For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.* This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. This shall not be construed as a 90-day warranty. There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.
2. **Treatment Recommendation Guidelines Regarding Termites:** FHA and VA require treatment when any active infestation of subterranean termite is found. If signs of subterranean termite – but no activity – are found in a structure that shows no evidence of having been treated for subterranean termite in the past, then a treatment should be recommended. A treatment may also be recommended for a previously treated structure showing evidence of subterranean termites – but no activity – if there is no documentation of a liquid treatment by a licensed pest control company within the previous five years unless the structure is presently under warranty or covered by a service agreement with a licensed pest control company.
3. **Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
4. **Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insects infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.



Cover Page

16848 Southpark Dr, #100
 Westfield, IN 46074-8898
 317-867-7688
 fax 317-867-9964



Customer Information Date: 8/16/2012

File # Simpson/SD	Location:
Customer: Sibcy Cline Relocation Services, Inc	Rodney Simpson
Attention: Sandra Yaeger	7850 Jonell Square
Cincinnati OH	New Albany OH 43054
Fax #	
Phone # 513-985-2666	

Type of Service Estimated Repair Cost

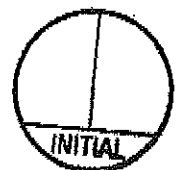
- | | |
|--|--|
| <input type="checkbox"/> Radon ----> | Result: pCi/L. |
| <input type="checkbox"/> Home Assessment----> | <input type="checkbox"/> Clear <input type="checkbox"/> Not Clear |
| <input type="checkbox"/> Pest ----> | <input type="checkbox"/> Clear <input type="checkbox"/> Not Clear |
| <input type="checkbox"/> Well ----> | <input type="checkbox"/> Clear <input type="checkbox"/> Not Clear |
| <input type="checkbox"/> Septic Evaluation ----> | <input type="checkbox"/> Clear <input type="checkbox"/> Not Clear |
| <input type="checkbox"/> Pool / Spa ----> | <input type="checkbox"/> Clear <input type="checkbox"/> Not Clear |
| <input checked="" type="checkbox"/> Other #1 ----> Sprinkler System Assessment | <input checked="" type="checkbox"/> Clear <input type="checkbox"/> Not Clear |
| <input type="checkbox"/> Other #2 ----> | <input type="checkbox"/> Clear <input type="checkbox"/> Not Clear |
| <input type="checkbox"/> Extra Miles | |

Service Summary

The attached report indicates that no defects were noted at the time of the inspection. See report for further information.
 Thank you for your business.

Please contact the reviewer below with any questions on this report:
 Gary Widmer 800-766-2366 X 305 or gwidmer@ralis.com

ALWAYS read entire report for detailed information.





16848 Southpark Dr, #100
Westfield, IN 46074-8898
317-867-7688
fax 317-867-9964

Report Date 8/16/12

INGROUND SPRINKLER SYSTEM ASSESSMENT REPORT

Relo File # **Simpson/SD**

Contact: **Sandra Yaeger**

Customer: **Sibcy Cline Relocation Services, Inc**

Address: **8044 Montgomery Road Suite #306**

City, St, Zip: **Cincinnati, OH 45236**

Phone: **513-985-2666**

Fax:

Inspection

location: **Rodney Simpson**

7860 Jonell Square

New Albany, OH 43054

Inspect. Date: **8/13/12**

Time: **10:30 am**

Age of Home (yrs):

Occupied: **Yes**

Outside Temp: **78 ° F**

Weather: **Cloudy**

People present: **Inspector only**

PURPOSE OF THE INGROUND SPRINKLER SYSTEM INSPECTION REPORT

The purpose of this inspection is to verify the system operation and report on the "as is" condition of the readily accessible components.

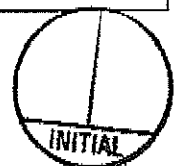
SPRINKLER EQUIPMENT

- | | | |
|---|---|-----------|
| 1 | System Operation: Acceptable | Comments: |
| 2 | Electrical/Timer(s)/Controls: Acceptable | Comments: |
| 3 | Plumbing: Acceptable | Comments: |
| 4 | Zone Valve(s): Acceptable | Comments: |
| 5 | Sprinkler Heads: Acceptable | Comments: |
| 6 | Backflow Preventer(s): Acceptable | Comments: |

SPRINKLER COMMENTS

Reviewer Signature: Signature On File
Gary Widmer

This form created on RAL FORMS EXPRESS™





16848 Southpark Dr, #100
Westfield, IN 46074-8898
317-867-7688
fax 317-867-9964

Data entered by: Tom Tillett

Report Date: 8/7/12

Invoice #: 184655

RADON INSPECTION REPORT

File: **Simpson/SD**
Contact name: **Sandra Yaeger**
Customer: **Sibcy Cline Relocation Services, Inc**
Address: **8044 Montgomery Road Suite #306**
City/State/Zip: **Cincinnati, OH 45236**
Office: **513-985-2666**
Fax :

TEST DETAILS	
Test device: Femto-tech	Test location: Basement
CRM5105852	1.1 pCi/l
	pCi/l
Start date: 7/31/2012	Start time:
Stop date: 8/2/2012	Stop time:
Signature on File	
Dan West	
State License# RT 634, S000036-0	

TEST LOCATION
Rodney Simpson 7860 Jonell Square New Albany, OH 43054

PURPOSE OF THIS INSPECTION REPORT

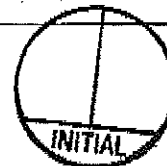
To provide a professional opinion of a structure's radon levels as of the date of inspection, limited to the conditions identified in this report. (You may request additional information regarding test conditions and protocols observed).

Radon Test Results: 1.1 pCi/l
ACCEPTABLE

Radon levels are **ACCEPTABLE** per this report. An EPA-protocol radon screening test was performed and the radon level noted above was below the current action level set by EPA. The current action level set by EPA is 4.0 pCi/L (picocuries per liter). Mitigation is not recommended at this time.

LIMITATIONS OF LIABILITY

RAL Inspection Services cannot be assured the necessary conditions were maintained during the test period. There can be uncertainty with any radon measurement due to statistical variations and other factors such as changes in the weather and operation of the dwelling. While we and our agents make every effort to maintain the highest possible quality control and include checks and verification steps in our procedures, we make **NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED**, for the consequences of erroneous test results. RAL Inspection Services nor its employees or agents shall be liable under any claim, charge or demand, whether in contract, tort, or otherwise, for any and all loss, cost, charge, claim, demand, fee, expense or damage of any nature or kind arising out of, connected with, resulting from, or sustained as a result of any radon test unless specifically covered by an optional radon mitigation service contract.



Midwest Building Inspections, Inc.

21:55 November 21, 2012

Definitions

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

A Acceptable B Marginal D Defective N/I Not Inspected N/P Not Present	Component is in working condition, functioning as intended, normal wear. Item is functioning as intended, yet is marginal, or aging, future working condition is undeterminable, or needs minor repair. Repair or replacement required, not in working order. Item was unable to be inspected due to safety issues, access, or lack of power. Item not present in this structure.
--	--

General Information

Property Information

Property Address 7860 Jonell Square
 City New Albany State Ohio Zip 43054
 Contact Name Buyer
 Phone _____ Fax _____

Client Information

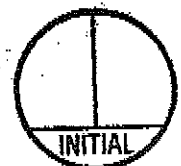
Client Name _____
 Client Address _____
 City State Zip _____
 Phone _____ Fax _____
 E-Mail _____

Inspection Company

Inspector Name Jeffrey C. Herbert
 Company Name Midwest Building Inspections, Inc.
 Company Address 12551 Lesley Rd.
 City Newark State OH Zip 43056
 Phone (740) 763-4400 Fax (740) 763-0695
 E-Mail jeffherbert@jeffherbert.com
 Amount Received \$425+\$125(R)= \$550.00 Total

Conditions

Others Present Buyer Estimated Age 2000 Inspection Date 11/21/12 Start Time 8:45 a.m. Electric On <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Gas/Oil On <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Water On <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Temperature 44 Weather Cloudy Space Below Grade Basement/crawl Building Type Single family Sewage Disposal City Water Source City	Property Occupied Yes Entrance Faces South End Time 12:15 p.m. Soil Conditions Dry Garage Attached How Verified Visual Inspection How Verified Visual Inspection
--	---



Client: _____

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Lots and Grounds

We only include areas near, and around the structure, that may directly effect the structure. If there are concerns regarding drainage in other areas of the property not near the structure, discuss these with your inspector for information. Grading near the foundation, must allow for positive drainage of surface water away, at a minimum of 1/2" per foot fall, for ten feet. Excess water near the foundation can contribute to basement/crawl space water entry, as well as causing potential foundation damage. Corrections/modifications to this issue are typically a landscaping procedure.

A B D N/WP

- 1. **Walks:** Brick
- 2. **Steps/Stoops:** Brick
- 3. **Patio:** Brick
- 4. **Porch:** Brick
- 5. **Vegetation:** Shrubs/plants/trees - Keep trees trimmed away from structure.
- 6. **Grading:** Maintain positive drainage away from foundation - Poor drainage near foundation, inside raised landscape beds, some along rear wall, around egress window, and front inset. All soil should slope down, out and away from foundation, for 5-10 feet, for roof and surface water control. Recommend future improvements here, especially with sprinkler system present, and some roof water issues. See roof flashing detail. Most is a landscaping issue, get estimates as needed.
- 7. **Driveway:** Brick
- 8. **Lawn Sprinklers:** Winterized - Get all info, maintenance company. Inquire if any concerns.

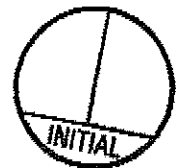
Exterior Surface and Components

Surfaces are inspected as to condition, decay, potential leak areas/water resistant installation. Cosmetic concerns may be noted, but are not a part of the inspection. Brick veneer, stone, and stucco, as well as siding material, can allow moisture entry if incorrectly installed, or not maintained. Leaks of this nature can cause hidden damage, which may not be visible at the time of the inspection.

A B D N/WP

Entire House Exterior Surface

- 1. **Type:** Stucco - Most looks good. A few cracks on one south wall, but most cracks on north wall, and chimneys. Many cracks appear to be normal in size and condition, one previous stucco repair on rear wall. Cracking on chimney chases is moderate, to substantial, but not unusual for age. No visible open cracks here that appear to be leaking, but these chimneys have uneven surface at tops, are wood framed chases, that when do leak, can cause hidden damage. Recommend regular monitoring/checking these chimneys, expect some future repairs here.
- 2. **Trim:** Wood
- 3. **Fascia:** Wood
- 4. **Soffits:** Wood - Most soffit vents are heavily painted, some ventilation openings are plugged with paint. No visible concerns in attic, but keep maintained, opened, with future paint.
- 5. **Entry Doors:** Wood
- 6. **Patio Door:** French door
- 7. **Windows:** Wood casement - Windsors, average to age, no visible concerns.
- 8. **Window Screens:** Vinyl mesh - Many out, inquire if all present, and condition.
- 9. **Exterior Lighting:** Surface mount
- 10. **Exterior Electric Outlets:** 110 VAC
- 11. **Hose Bibs:** Frost-free
- 12. **Gas Meter:** Exterior surface mount at side of home
- 13. **Main Gas Valve:** Located at gas meter



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Roof

Roofs can be inspected by various methods, on the roof, from the ground, eaves, with binoculars, etc. Steep roofs are inspected from the ground, and some, high, or flat roofs, may not be accessible, or visible, using standard equipment. We do not walk on slate roofs, tile roofs, or roofs that may be slippery due to weather conditions. Your report will designate the method of inspection, list actual or approximate age, general overall condition, areas of concern, and potential leak areas, when visible. Roof leaks can sometimes occur only during certain weather conditions, or from new damage from wind, storms, etc. The visual roof inspection included here is not a warranty or guarantee that future minor roof leaks will not occur. A small percentage of cracked or broken tiles is normal and typical.

A B D N/N/P

Main Roof Surface

- 1. Method of Inspection: Ladder at eaves and ground
 - 2. Material: Asphalt shingle - Dimensional, average for age. Shingle stagger looks okay. Minor to moderate aggregate loss, average overall. Some hail damage, scattered, minimal, no visible concerns. Estimate 4-7+ years additional life.
 - 3. Type: Gable and Hip
 - 4. Approx Age: 1999
 - 5. Flashing: Aluminum - Most look good. Front inset, garage gutter where meets house wall. Appear kick-out flashing present here, but appears small in size. This area carries lots of roof water by design. Appears gutter overflow/leakage around end of gutter here, stains down stucco on house wall, and splashed up debris on stone and wall finish. Stucco crack here also, right at corner with excess water, potential leak issue. Poor grading here near foundation, to divert water out and away from foundation. South exposure, weather-side of house. These issues may be contributing to basement moisture issues. Recommend review all here, discuss concerns/options, qualified contractor(s).
 - 6. Valleys: Preformed metal
 - 7. Plumbing Vents: ABS
 - 8. Electrical Mast: Underground utilities
 - 9. Gutters: Aluminum - Newer gutters, screened, good. Some downspouts are larger than underground tile, monitor water load.
 - 10. Downspouts: Aluminum
- 2- Chimney
- 11. Chimney: Metal chimney in chase
 - 12. Chimney Flashing: Aluminum

Garage/Carpport

A B D N/N/P

Attached Garage

- 1. Type of Structure: Garage Car Spaces: 4
- 2. Garage Doors: Wood - -2- Heavy doors with outer application of trim, heavy springs and double rollers, look okay. Some loose hinges/roller fasteners, common, keep maintained.
- 3. Door Operation: Mechanized
- 4. Door Opener: Lift Master - -2-
- 5. Exterior Surface: Stucco
- 6. Roof: Asphalt shingle
- 7. Roof Structure: Rafter - This attic not designed for heavy storage.
- 8. Service Doors: Metal - -1- This door could use weather-strip updates, minor repair.
- 9. Ceiling: Paint
- 10. Walls: Paint
- 11. Floor/Foundation: Block and poured
- 12. Electrical: 110 VAC outlets and lighting circuits
- 13. Heating: None visible - Note: Sink and water lines here in unheated space, potential freezing concern. Attic has had insulation added, good, but must keep tempered here, or winterize as desired for personal use.
- 14. Windows: Wood casement



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Electrical

We inspect the main panel, any sub-panels, open visible wiring, random testing of accessible outlets and lighting, for areas of concern. Electrical Codes change regularly, and can vary by municipality, therefore we are NOT INSPECTING TO BUILDING CODES. Wiring done in a non-professional manner, can create safety issues, and should always be professionally repaired. Some vintage wiring, even though functional and in good condition, can be a safety and/or potential insurance concern. Timers, clocks, and low voltage systems are not evaluated. The purpose of every switch may not be determined. Smoke detectors recommended within 15 feet of any bedroom, test monthly.

A B D N/N/P

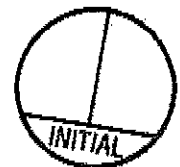
1. **Service Size Amps:** 200 **Volts:** 120-240 VAC
 2. **Service:** Aluminum
 3. **120 VAC Branch Circuits:** Copper
 4. **240 VAC Branch Circuits:** Copper and aluminum
 5. **Conductor Type:** Romex
 6. **GFCI:** Present
 7. **Ground:** Plumbing and rod in ground. - CSST present. No visible ground to main gas line or main gas line manifold. Some municipalities do not require this ground loop to be present, but recent findings show concerns between this type of flexible gas line, and lightning strikes, direct and indirect. Recommend install full ground loop, electric panel to main gas line manifold, potential safety issue, consult qualified electrician.
 8. **Smoke Detectors:** Test monthly, present
- Basement Electric Panel**
9. **Manufacturer:** Cutler-Hammer - Sub-panel external disconnect, 4 wire feed, all separated, good. Several open slots/spare breakers due to generator system, get all info, duty cycle, etc.
 10. **Max Capacity:** 200 Amps
 11. **Main Breaker Size:** 200 Amps
 12. **Breakers:** CU/AL
 13. **Is the panel bonded?** Yes No

Structure

We inspect visible areas of the foundation, floor framing, beams, and columns for concerns. Finished basements create limited/no access to these items, including drywall, carpet, insulation, ceiling tile, etc. These items are not moved unless investigating a specific concern. Foundation cracks are common, and can be caused by various conditions. Cracks will be evaluated as to degree, and cause, for concern.

A B D N/N/P

1. **Structure Type:** Wood frame
2. **Foundation:** Block
3. **Beams:** Steel I-Beam
4. **Joists/Trusses:** 2x10
5. **Piers/Posts:** Block piers and steel posts - One beam under basement stair area, no visible column within 4-5 feet of end. Large beam, no visible settlement issues, monitor.
6. **Stairs/Handrails:** Wood stairs with wood handrails
7. **Subfloor:** OSB



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Attic

Attics are inspected whenever access is readily available. Some are inspected from the opening, when openly visible, others are entered as needed. Even when entered, there may be areas not readily accessible, or difficult access prevents inspection. Some attic conditions can cause safety, and/or health concerns, and therefore will not be entered. Bath fans should be vented to the exterior, attic moisture needs controlled via proper ventilation.

A B D N/N/P

2 areas Attic

1. **Method of Inspection:** In the attic and from access
2. **Roof Framing:** 2x6 Rafter - Some knee-walls, good, some on long spans. No visible concerns, monitor.
3. **Sheathing:** Strand board
4. **Ventilation:** Gable, roof and soffit vents - Front gable vent, interior screen against pest entry loose, down, needs repair. Some hat vents, damaged, no visible concerns, but recommend replace as needed with future roof update.
5. **Insulation:** Batts and blown in, fiberglass and cellulose
6. **Insulation Depth:** 13-15" - Some added, good.

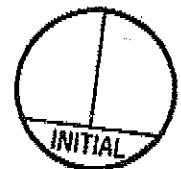
Basement

Finished basements limit access to items we inspect. We inspect visible areas for concerns, as to foundations, framing, potential water entry, as well as many structural and safety issues. Vintage homes typically get some dampness and/or water entry occasionally, due to design, construction, or existing conditions, which can sometimes be corrected. Newer homes may be built to resist water entry, yet it still may occur under certain conditions. We are limited as to the conditions that exist on the day of the inspection. Floor cracks are common, and will be evaluated as to areas of concern, or are considered cosmetic.

A B D N/N/P

Main Basement

1. **Unable to Inspect:** 80% - Due to basement finish
2. **Ceiling:** Exposed framing
3. **Floors:** Concrete
4. **Floor Drain:** Surface drain
5. **Electrical:** 110 VAC outlets and lighting circuits
6. **HVAC Source:** Heating system register
7. **Ventilation:** HVAC
8. **Insulation:** Fiberglass - Full to floor
9. **Vapor Barrier:** Plastic
10. **Sump Pump:** Submerged - Sealed lid, 2 cord, tested, ran okay.
11. **Moisture Location:** Notes - Dry overall, has tuff and dry waterproofing, good system., may have warranty. Moisture in corner, front wall, furnace area, minimal. See all detail as discussed, needs corrections on exterior, get estimates as needed.
12. **Bsmt Stairs/Railings:** Wood stairs with wood handrails



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Crawl Space

Crawl spaces are entered when needed, and feasible. Conditions that limit access are water, limited height, small access, etc. Areas not readily accessible cannot be inspected. Crawl spaces need maintenance, ventilation, and moisture control. Wood damage may be present in unseen areas.

A B D N/N/P

One area Crawl Space

- 1. Method of Inspection: In the crawl space
- 2. Unable to Inspect: 20%, insulation not removed
- 3. Access: Open
- 4. Moisture Location:
- 5. Ventilation: HVAC and open
- 6. Insulation: Fiberglass - To grade
- 7. Vapor Barrier: Plastic - Component of radon system, needs maintained. Open seam, near beam support, pulling air from conditioned space, may be contributing to back-draft issues, needs corrected. Consult qualified radon mitigator for repairs.
- 8. Electrical: 110 VAC lighting circuits
- 9. HVAC Source: Heating system register

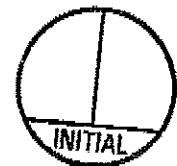
Air Conditioning

Central air conditioner units are tested when possible for proper operation. Testing of units is not done when outside temperatures are below 65 degrees, or the previous night temperatures were excessively cold. The inspector retains the right to the decision to test or not, in lieu of potentially damaging the equipment. Testing includes running the unit, checking for temperature differential (14-22 degrees, typical), and reviewing age / unit condition. Window units are not tested. Heat pumps, HEAT, or COOL, side will be tested, not both. "Average" A/C life, 13-15 years. "Average" Heat Pump life, 10-12 years. Inspection does not determine balancing or sizing of system.

A B D N/N/P

Main AC System

- 1. A/C System Operation: Too cold to test. - To avoid possible compressor damage due to outside temperature below 60 degrees, the unit was not tested.
- 2. Condensate Removal: Plastic tubing
- 3. Exterior Unit: Trane - Newer unit, inquire as to warranty, get all info.
- 4. Model Number: XR15 Serial Number: 1228332M2F
- 5. Area Served: Entire House Approximate Age: 2012
- 6. Fuel Type: 220 VAC Temperature Differential: n/a
- 7. Type: Central A/C Capacity: 4 Ton
- 8. Visible Coil: Aluminum
- 9. Refrigerant Lines: Suction line and liquid line
- 10. Electrical Disconnect: Present
- 11. Thermostats: Individual - n/a/67



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Fireplace/Wood Stove

Chimneys / fireplaces are visually inspected for age, damage, and required repairs, to the exterior visible surfaces, and interior surfaces that are visible without professional cleaning and or dis-assembly of components. Due to the limited inspection we can provide as to interior condition, and non-visible areas, we recommend ALL chimneys be professionally cleaned prior to closing. Chimneys should be cleaned every 1-3 years, maybe more, depending on use.

A B D N/N/P

Living Room Fireplace

- 1. **Fireplace Construction:** Prefab - Firebox and assembly looks okay, two sided unit. Damper has clip, appears cannot close completely. Logs show heavy carbon deposits, and it appears soot is, and has been heavy in areas up on wall/mantle assembly, both sides, some cleaned off, some still present. Unusual for gas logs, may not be burning or drafting correctly, recommend review by qualified chimney sweep as to cause, potential corrections. Radon system present, include in review, potential negative draft ?
- 2. **Type:** Gas log
- 3. **Smoke Chamber:** Metal
- 4. **Flue:** Metal
- 5. **Damper:** Metal - Has clip
- 6. **Hearth:** Flush mounted

Basement Fireplace

- 7. **Fireplace Construction:** Prefab - Moderate to substantial rust here, flue area, but also panels along front area. Recommend review, determine cause/corrections, qualified chimney sweep, with other unit.
- 8. **Type:** Wood burning, with gas starter
- 9. **Smoke Chamber:** Metal
- 10. **Flue:** Metal
- 11. **Damper:** Metal
- 12. **Hearth:** Flush mounted

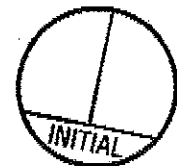
Heating System

Primary heat sources are visually inspected as to condition, overall operation, and areas of concern, utilizing normal operating controls. Various tests may be done on different units to help determine areas of concern, but no exhaustive testing, or dis-assembly of units is included. Power supplies, fuel/air supplies, flues, and visible ductwork are inspected. We recommend annual service/inspections for all fossil-fuel burning units. Inspection does not determine balancing or sizing of system.

A B D N/N/P

Main Heating System

- 1. **Heating System Operation:** Cycles/burns well, sounds good.
- 2. **Manufacturer:** Trane
- 3. **Model Number:** TUD120 **Serial Number:** P163UBX1G
- 4. **Type:** Forced air **Capacity:** 120,000
- 5. **Area Served:** Entire House **Approximate Age:** 2000, original
- 6. **Fuel Type:** Natural gas
- 7. **Heat Exchanger:** 6 Burner
- 8. **Unable to Inspect:** 90%
- 9. **Blower Fan/Filter:** Direct drive with disposable filter
- 10. **Distribution:** Duct work - Large house for one unit, main trunks have dampers, good, adjust as needed for personal use.
- 11. **Flue Pipe:** Double wall - Flue shows heavy moisture from condensation issues, heavy salts deposits on top of furnace, and inside furnace cabinet. Water entry into furnace cabinet with electronics should be corrected. Furnace should be cleaned, flue checked. Recommend review with other flue issues, qualified contractor, cause/options, prior to closing.
- 12. **Thermostats:** Individual



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21:55 November 21, 2012

Plumbing

Fixtures, water heater, supply lines, drains, main service components, are operated and/or visibly inspected for leaks and areas of concern, limited to the day of inspection. Leaks can occur under certain use, outside the inspection process, that may not be able to be determined. Underground lines, and piping in concealed areas cannot be inspected. Exterior hose faucets may need winterized annually, and ALL hoses need removed for cold weather, damage potential to interior piping. Recommend private waste systems be serviced prior to closing. Water conditioning systems not inspected or tested. Recommend water temperature setting of 120-130 degrees. Water Heaters, "Average" life, 8-12 years.

A B D N/N/P

- 1. **Service Line:** Plastic
- 2. **Main Water Shutoff:** Basement
- 3. **Water Lines:** Copper
- 4. **Drain Pipes:** ABS
- 5. **Service Caps:** Accessible
- 6. **Vent Pipes:** ABS
- 7. **Gas Service Lines:** Black iron and flexible

Basement Water Heater

- 8. **Water Heater Operation:** Functional at time of inspection - 125 degrees, kitchen sink
- 9. **Manufacturer:** A.O. Smith
- 10. **Model Number:** 1 **Serial Number:** 1
- 11. **Type:** Natural gas **Capacity:** 50 Gal.
- 12. **Approximate Age:** 2008 **Area Served:** Entire House
- 13. **Flue Pipe:** Double wall - Water heater updated, good. Appears some backdrafting here at draft diverter, plastic bushings at supplies, melted, both sides, should be checked with furnace flue and fireplace issues.
- 14. **TPRV and Drain Tube:** Copper

Bathroom

All bathrooms require ventilation and should be used. Ceramic tile must be maintained, and, will have premature failure without proper bath ventilation.

A B D N/N/P

1st Floor Hall, 1/2 Bathroom

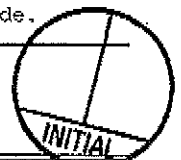
- 1. **Ceiling:** Paint
- 2. **Walls:** Paint
- 3. **Floor:** Hardwood
- 4. **Doors:** Solid wood
- 5. **Electrical:** 110 VAC outlets and lighting circuits
- 6. **Sink/Basin:** Pedestal
- 7. **Faucets/Traps:** Functional
- 8. **Toilets:** Functional
- 9. **HVAC Source:** Heating system register
- 10. **Ventilation:** Electric ventilation fan

Basement Bathroom

- 11. **Ceiling:** Paint
- 12. **Walls:** Paint
- 13. **Floor:** Slate
- 14. **Doors:** Solid wood
- 15. **Electrical:** 110 VAC outlets and lighting circuits
- 16. **Sink/Basin:** Pedestal
- 17. **Faucets/Traps:** Functional
- 18. **Toilets:** Functional
- 19. **HVAC Source:** None visible
- 20. **Ventilation:** None visible - Typically required, could be added, unfinished on other side.

Master Bathroom

- 21. **Ceiling:** Paint
- 22. **Walls:** Paint



Client:

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21:55 November 21, 2012

Bathroom (continued)

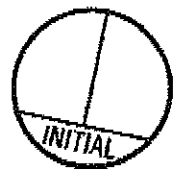
- 23. **Floor:** Ceramic tile
- 24. **Doors:** Solid wood
- 25. **Windows:** Wood casement - Heavy peeling paint, possible condensation due to HVAC and design.
- 26. **Electrical:** 110 VAC outlets and lighting circuits
- 27. **Counter/Cabinet:** Wood
- 28. **Sink/Basin:** Molded dual bowl
- 29. **Faucets/Traps:** Functional
- 30. **Shower/Surround:** Pan with wall panel kit - Top door bracket appears loose, unsure how to secure, recommend check.
- 31. **Spa Tub/Surround:** Tub with Tile - Sounds good, not filled and run. Inquire as to GFCI location, verify present, or check with other electrical issues.
- 32. **Toilets:** Functional
- 33. **HVAC Source:** Heating system register - High supply, minimal air-flow, split between two rooms, recommend check for concerns/improvements, with furnace service/check. Outside walls, ceramic tile floor, high supply, may get cold here.
- 34. **Ventilation:** Electric ventilation fan and window - 2/1

Bedroom 4 Bathroom

- 35. **Ceiling:** Paint
- 36. **Walls:** Paint
- 37. **Floor:** Ceramic tile
- 38. **Doors:** Solid wood
- 39. **Electrical:** 110 VAC outlets and lighting circuits
- 40. **Sink/Basin:** Pedestal
- 41. **Faucets/Traps:** Functional
- 42. **Shower/Surround:** Pan with wall panel kit
- 43. **Toilets:** Functional
- 44. **HVAC Source:** Heating system register
- 45. **Ventilation:** Electric ventilation fan

Jack / Jill Bathroom

- 46. **Ceiling:** Paint
- 47. **Walls:** Paint
- 48. **Floor:** Ceramic tile
- 49. **Doors:** Solid wood
- 50. **Electrical:** 110 VAC outlets and lighting circuits
- 51. **Counter/Cabinet:** Wood
- 52. **Sink/Basin:** Molded dual bowl
- 53. **Faucets/Traps:** Functional
- 54. **Tub/Surround:** Tub with wall panel kit
- 55. **Toilets:** Functional
- 56. **HVAC Source:** Heating system register
- 57. **Ventilation:** Electric ventilation fan



Client: _____

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21:55 November 21, 2012

Kitchen

Ages shown are estimated. Self cleaning function of oven, clocks, timers, and proper temperatures, are not evaluated.

A B D N/N/P

1st Floor Kitchen

- 1. **Cooking Appliances:** K/A and Wolf
- 2. **Ventilator:** Present - Low at grade on exterior, watch for heavy snow, blockage.
- 3. **Disposal:** In-Sinkerator - -2-
- 4. **Dishwasher:** Viking - Did not run unit.
- 5. **Air Gap Present?** Yes No
- 6. **Refrigerator:** K/A
- 7. **Sink:** Molded dual bowl and single bowl
- 8. **Electrical:** 110 VAC outlets and lighting circuits
- 9. **Plumbing/Fixtures:** Functional
- 10. **Counter Tops:** Granite
- 11. **Cabinets:** Wood
- 12. **Ceiling:** Paint
- 13. **Walls:** Paint
- 14. **Floor:** Hardwood
- 15. **Windows:** Wood casement
- 16. **HVAC Source:** Heating system register

Bedroom

A B D N/N/P

2nd Floor Master Bedroom

- 1. **Closet:** Walk In
- 2. **Ceiling:** Paint
- 3. **Walls:** Paint
- 4. **Floor:** Hardwood
- 5. **Doors:** Solid wood
- 6. **Windows:** Wood casement
- 7. **Electrical:** 110 VAC outlets and lighting circuits
- 8. **HVAC Source:** Heating system register

#2 Bedroom

- 9. **Closet:** Single
- 10. **Ceiling:** Paint
- 11. **Walls:** Paint
- 12. **Floor:** Carpet
- 13. **Doors:** Solid wood
- 14. **Windows:** Wood casement
- 15. **Electrical:** 110 VAC outlets and lighting circuits
- 16. **HVAC Source:** Heating system register

#3 Bedroom

- 17. **Closet:** Single
- 18. **Ceiling:** Paint
- 19. **Walls:** Paint
- 20. **Floor:** Carpet
- 21. **Doors:** Solid wood
- 22. **Windows:** Wood casement
- 23. **Electrical:** 110 VAC outlets and lighting circuits
- 24. **HVAC Source:** Heating system register

#4 rear Bedroom

- 25. **Closet:** Single
- 26. **Ceiling:** Paint



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Bedroom (continued)

27. **Walls:** Paint
 28. **Floor:** Carpet
 29. **Doors:** Solid wood
 30. **Windows:** Wood casement
 31. **Electrical:** 110 VAC outlets and lighting circuits
 32. **HVAC Source:** Heating system register

Living Space

Ceiling/wall cracks are common, and will be evaluated as to areas of concern, or are considered cosmetic. A representative number of windows and doors are evaluated. We do not determine the presence or absence of safety glass, or ALL seal failures in insulated glass. Most buildings have minor cracks in window glass, storms, or minor screen damage. Verify all window/door screens are present, prior to closing.

A B D N/WP

Lower Level Family Room Living Space

1. **Closet:** Single
 2. **Ceiling:** Paint
 3. **Walls:** Paint
 4. **Floor:** Carpet
 5. **Doors:** Solid wood
 6. **Windows:** Wood casement
 7. **Electrical:** 110 VAC outlets and lighting circuits
 8. **HVAC Source:** Heating system register

Living Room Living Space

9. **Closet:** Two
 10. **Ceiling:** Paint
 11. **Walls:** Paint
 12. **Floor:** Hardwood
 13. **Doors:** Solid wood
 14. **Windows:** Wood casement
 15. **Electrical:** 110 VAC outlets and lighting circuits
 16. **HVAC Source:** Heating system register

Dining Room Living Space

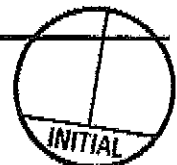
17. **Ceiling:** Paint
 18. **Walls:** Paint
 19. **Floor:** Hardwood
 20. **Windows:** Wood casement ~ Possible previous moisture concerns here, possible previous interior wood repairs, heavily sealed/caulked, side jamb and sill sections, paint peeling, drywall cracks under window. Excess moisture concerns in this area on exterior, inquire as to concerns/corrections, or needs checked with outside issues. If previous water entry through much of window frame area, may have gotten into wall cavity, potential hidden damage or concerns, inquire if ever opened/checked/addressed, or may also need reviewed.
 21. **Electrical:** 110 VAC outlets and lighting circuits
 22. **HVAC Source:** Heating system register

Family Room Living Space

23. **Ceiling:** Paint
 24. **Walls:** Paint
 25. **Floor:** Hardwood
 26. **Windows:** Wood casement
 27. **Electrical:** 110 VAC outlets and lighting circuits
 28. **HVAC Source:** Heating system register

Eating space Living Space

29. **Ceiling:** Paint
 30. **Walls:** Paint
 31. **Floor:** Hardwood



Client: _____

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Living Space (continued)

32. **Windows:** Wood casement
33. **Electrical:** 110 VAC outlets and lighting circuits
34. **HVAC Source:** Heating system register
- Den Living Space**
35. **Ceiling:** Paint
36. **Walls:** Paint
37. **Floor:** Hardwood
38. **Doors:** Solid wood
39. **Windows:** Wood casement - Previous moisture intrusion, south window, touch-up painting completed, minor floor/trim moisture damage. Recommend get all info, in writing, as to repairs to water entry cause/corrections, prior to paint re-finish. Retain for future re-sale. If no repairs completed, recommend have checked, qualified contractor.
40. **Electrical:** 110 VAC outlets and lighting circuits
41. **HVAC Source:** Heating system register

Laundry Room/Area

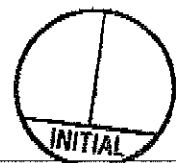
A B D N/W/P

1st Floor Laundry Room/Area

1. **Ceiling:** Paint
2. **Walls:** Paint
3. **Floors:** Ceramic tile - One cracked, common, inquire if any extra.
4. **Doors:** Solid wood
5. **Windows:** Wood casement
6. **Electrical:** 110 VAC outlets and lighting circuits
7. **HVAC Source:** Heating system register
8. **Laundry Tub:** PVC
9. **Laundry Tub Drain:** Functional
10. **Washer Hose Bib:** Wall mount
11. **Washer and Dryer Electrical:** 110-240 VAC
12. **Dryer Vent:** Rigid metal
13. **Dryer Gas Line:** Black iron - Not in use, capped off.
14. **Washer Drain:** Wall mounted drain

Final Comments

Appears well built, many quality products, positive features. Previous roof, surface water, and window water issues, some addressed, some may still need addressed, several questions, get all info, check any as needed. prior to closing. Apparent backdrafting issues, possible negative pressure issues, need checked. Furnace, water heater flue issues, and master bath HVAC supply, check. Read all detail in report, get estimates as needed.



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Marginal Summary

Lots and Grounds

Grading: Maintain positive drainage away from foundation - Poor drainage near foundation, inside raised landscape beds, some along rear wall, around egress window, and front inset. All soil should slope down, out and away from foundation, for 5-10 feet, for roof and surface water control. Recommend future improvements here, especially with sprinkler system present, and some roof water issues. See roof flashing detail. Most is a landscaping issue, get estimates as needed.

Exterior Surface and Components

Entire House - Exterior Surface - Type: Stucco - Most looks good. A few cracks on one south wall, but most cracks on north wall, and chimneys. Many cracks appear to be normal in size and condition, one previous stucco repair on rear wall. Cracking on chimney chases is moderate, to substantial, but not unusual for age. No visible open cracks here that appear to be leaking, but these chimneys have uneven surface at tops, are wood framed chases, that when do leak, can cause hidden damage. Recommend regular monitoring/checking these chimneys, expect some future repairs here.

Roof

Flashing: Aluminum - Most look good. Front inset, garage gutter where meets house wall. Appear kick-out flashing present here, but appears small in size. This area carries lots of roof water by design. Appears gutter overflow/leakage around end of gutter here, stains down stucco on house wall, and splashed up debris on stone and wall finish. Stucco crack here also, right at corner with excess water, potential leak issue. Poor grading here near foundation, to divert water out and away from foundation. South exposure, weather-side of house. These issues may be contributing to basement moisture issues. Recommend review all here, discuss concerns/options, qualified contractor(s).

Electrical

Ground: Plumbing and rod in ground. - CSST present. No visible ground to main gas line or main gas line manifold. Some municipalities do not require this ground loop to be present, but recent findings show concerns between this type of flexible gas line, and lightning strikes, direct and indirect. Recommend install full ground loop, electric panel to main gas line manifold, potential safety issue, consult qualified electrician.

Crawl Space

One area - Crawl Space - Vapor Barrier: Plastic - Component of radon system, needs maintained. Open seam, near beam support, pulling air from conditioned space, may be contributing to back-draft issues, needs corrected. Consult qualified radon mitigator for repairs.

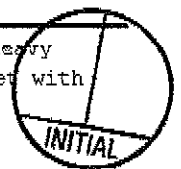
Fireplace/Wood Stove

Living Room - Fireplace - Fireplace Construction: Prefab - Firebox and assembly looks okay, two sided unit. Damper has clip, appears cannot close completely. Logs show heavy carbon deposits, and it appears soot is, and has been heavy in areas up on wall/mantle assembly, both sides, some cleaned off, some still present. Unusual for gas logs, may not be burning or drafting correctly, recommend review by qualified chimney sweep as to cause, potential corrections. Radon system present, include in review, potential negative draft ?

Basement - Fireplace - Fireplace Construction: Prefab - Moderate to substantial rust here, flue area, but also panels along front area. Recommend review, determine cause/corrections, qualified chimney sweep, with other unit.

Heating System

Main - Heating System - Flue Pipe: Double wall - Flue shows heavy moisture from condensation issues, heavy salts deposits on top of furnace, and inside furnace cabinet. Water entry into furnace cabinet with



Client:

Midwest Building Inspections, Inc.

21:55 November 21, 2012

Marginal (continued)

Main - Heating System - Flue Pipe: (continued)

electronics should be corrected. Furnace should be cleaned, flue checked. Recommend review with other flue issues, qualified contractor, cause/options, prior to closing.

Plumbing

Basement - Water Heater - Flue Pipe: Double wall - Water heater updated, good. Appears some backdrafting here at draft diverter, plastic bushings at supplies, melted, both sides, should be checked with furnace flue and fireplace issues.

Bathroom

Basement - Bathroom - Ventilation: None visible - Typically required, could be added, unfinished on other side.

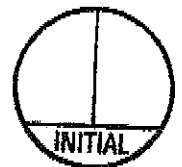
Master - Bathroom - Shower/Surround: Pan with wall panel kit - Top door bracket appears loose, unsure how to secure, recommend check.

Master - Bathroom - HVAC Source: Heating system register - High supply, minimal air-flow, split between two rooms, recommend check for concerns/improvements, with furnace service/check. Outside walls, ceramic tile floor, high supply, may get cold here.

Living Space

Dining Room - Living Space - Windows: Wood casement - Possible previous moisture concerns here, possible previous interior wood repairs, heavily sealed/caulked, side jamb and sill sections, paint peeling, drywall cracks under window. Excess moisture concerns in this area on exterior, inquire as to concerns/corrections, or needs checked with outside issues. If previous water entry through much of window frame area, may have gotten into wall cavity, potential hidden damage or concerns, inquire if ever opened/checked/addressed, or may also need reviewed.

Den - Living Space - Windows: Wood casement - Previous moisture intrusion, south window, touch-up painting completed, minor floor/trim moisture damage. Recommend get all info, in writing, as to repairs to water entry cause/corrections, prior to paint re-finish. Retain for future re-sale. If no repairs completed, recommend have checked, qualified contractor.



Client: _____

December 5, 2012

*RAZ response
TO MIOWEST Report*

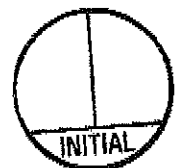
Sandra Yaeger
Sibcy Cline Relocation Services, Inc.
8044 Montgomery Road, Suite #306
Cincinnati, OH 45236

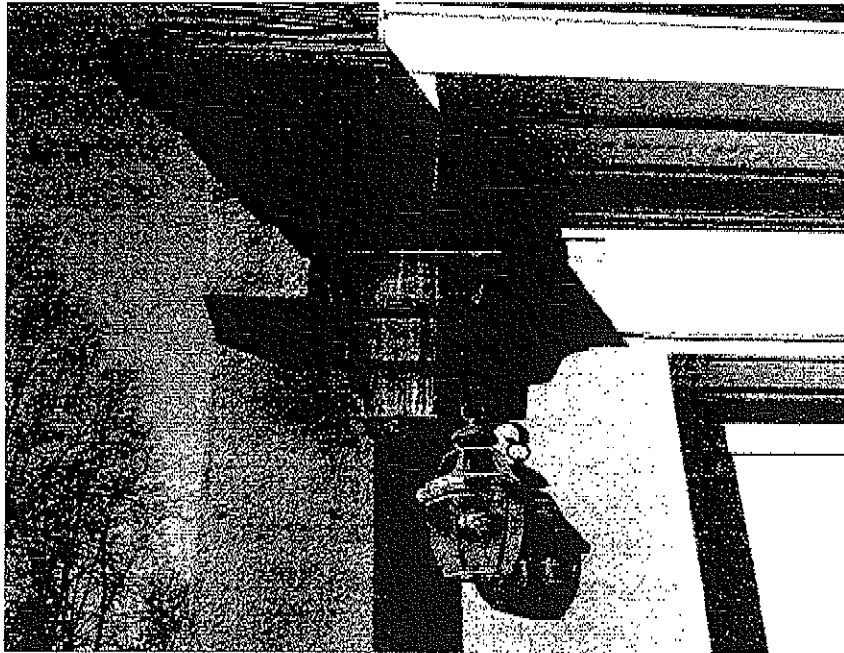
Subject: 7860 Jonell Square, New Albany, OH 43054

Hi Sandra,

We have reviewed the buyer's inspection report dated November 21, 2012 as well as the buyer's Request to Remedy list and have compared their concerns to our original ERC home assessment performed on August 13, 2012. In addition, our inspector returned to the property on December 5, to investigate these concerns. We have outlined our responses to each concern below.

1. Improve grading to maintain positive drainage away from the foundation, all soil should slope down, out and away from foundation 5-10 feet.
 - *Our ERC home assessment noted some minor negative grade at left front. There do not appear to be any related moisture penetration concerns related to the grading other than stated in #4 below. The buyer's inspector recommended future improvements. We do not believe any action other than listed in #4 below is warranted at this time, but as with any home, grading and drainage should be monitored and addressed if adverse conditions arise.*
2. Repair stucco cracks by qualified contractor on the chimney along with the crack at the corner of the house where the gutter has overflowed to prevent leaks and further water damage.
 - *Our ERC home assessment indicated there were cracks in the stucco at the chimney and we recommended repairs. Our inspector indicated that in the photo he provided, what may appear as a crack is actually bird nest material (see #3 below).*
3. Licensed and qualified roofer to replace the kick-out flashing (and gutters if needed) with a larger size to handle the roof water and prevent gutter overflow.
 - *Our inspector believes the flashing and gutters are capable of handling drainage in this area. He indicated that it appears that this gutter has been clogged at the top by bird nesting material and also at the bottom where it drains below grade. It is his opinion that this is the cause of the water overflow. We recommend the gutter, downspout, extension and underground lines be cleaned. This can be considered homeowner maintenance.*

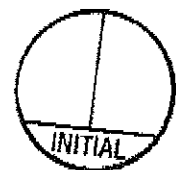




Gutter downspout showing staining and some nesting material to left side.

4. Investigate and repair all causes of moisture in the basement. Moisture was found in corner, front wall, furnace area. Corrections need to be made to the exterior to prevent further water problems.
 - *Our ERC report indicated the wall as wet in this area at the time of our assessment. We recommended a moisture control specialist be contracted to investigate and correct as determined necessary.*
 - *The wall in question is about 6 feet in width. Upon our inspectors return visit he used his moisture meter to test the foundation wall to the right of the front porch 40 times and found 28 dry spots, 7 damp spots and 5 wet spots. He indicated this to be exactly where the maintenance person found a COMPLETELY clogged drain elbow where the soil was wet. He stated that a minor adjustment in the slope to force water away from the house foundation would most likely remedy this.*
 - *No other moisture intrusion concerns were observed.*

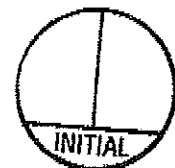
5. Licensed electrician to install full ground loop, electrical panel to main gas line manifold.
 - *The ERC home assessment is not a code compliance inspection. It is outside the scope our assessment to determine what code was adopted and enforced at the time the house was constructed, but it is reasonable to believe that this would have been considered at the time the house passed its building inspections. Installation of a ground at this time can be considered an upgrade to the current electrical installation.*

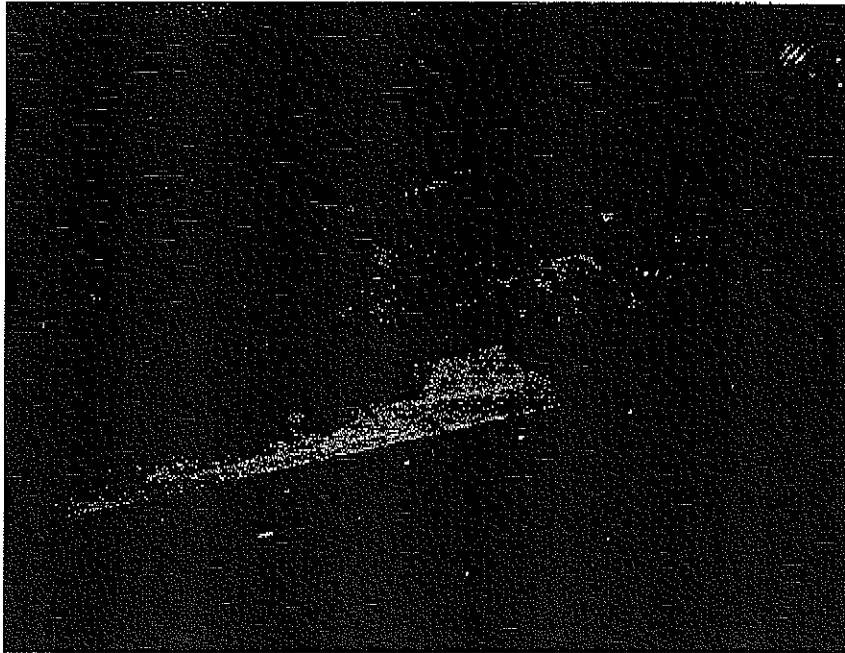


6. Radon system has an open seam, near beam support, pulling air from conditioned space, may be contributing to back-draft issue. Consult qualified radon mitigator for repairs.
 - *Inspection of radon mitigation systems is outside the scope of our services. A radon test was performed and the level was found to be within the acceptable EPA standards. If there is an open seam, it should be corrected.*
 - *The determination of house pressurization and equalization is well beyond the scope of the ERC assessment. The buyer's inspector is speculating. It is a highly specialized science to determine pressurization and is a moving target. Many factors can affect house pressure and it can change on an hourly basis.*

7. Have fireplaces and chimneys swept, cleaned and inspected. Verify cap condition and make all needed repairs to make them safe and fully functional by licensed chimney sweep. Review negative back-draft issues and address if needed.
 - *Our inspector indicated there was debris above the fireplace damper and we recommended correction by a qualified chimney/fireplace contractor.*

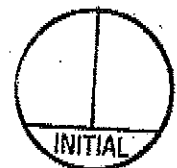
8. Furnace to be cleaned, serviced and flue checked by qualified, experienced and licensed HVAC professional. Flue shows heavy moisture from condensation issues, heavy salt deposits on top of furnace, and inside furnace cabinet. Correct the water entry into the furnace cabinet with electronics. Evaluate cause of negative pressure and back-draft issues in the home. May need to add a fresh air intake to HVAC system via return duct to help balance/equalize pressure.
 - *The salt deposits may be an exhaust venting concern, but would require further evaluation by a qualified HVAC contractor to determine the exact cause and what if any corrections are necessary. It appears that this condition was present at our initial assessment and we would have expected our inspector to note it in his report. RAL will work with Sibcy Cline toward resolution of this issue.*

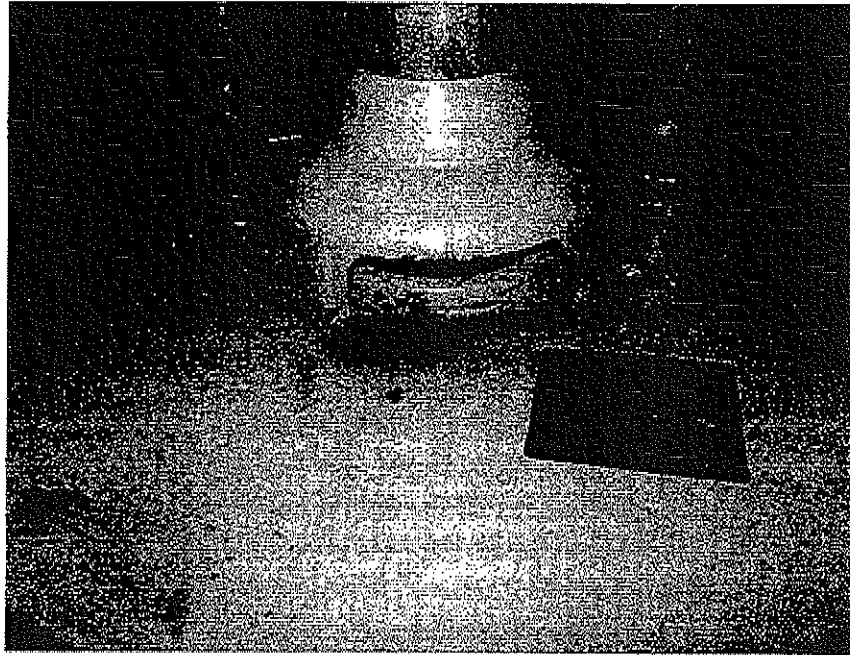




White powdery residue in furnace cabinet

9. Repair damage to the water heater flue pipe. Appears some back-drafting here at draft diverter, plastic bushings at supplies, melted, both sides, should be checked with furnace flue and fireplace issues by licensed and qualified contractor.
 - *Our inspector indicated he did not observe any moisture on the pipe or on top of the tank. He said that the flue appeared to be pulling smoke up in an acceptable manner. The bushings likely suffered the minor melting as a result of the soldering performed at the piped just above. This is not an uncommon condition. He did not feel there is sufficient evidence of a concern here, and only a qualified HVAC/plumbing contractor could determine otherwise.*





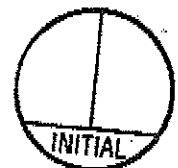
Top of water heater showing slight melting of bushings.
Other staining is oily residue, but not corrosion.

10. Investigate and repair all water damage present in living room and den area of the home by a qualified and licensed contractor; including interior wood and drywall, exterior wood and stucco, and replace windows if needed to prevent further damage or leakage.

Dining room – living space – windows: Wood casement - Possible previous moisture concerns here, possible previous interior wood repairs, heavily sealed/caulked, side jamb and sill sections, paint peeling, drywall cracks under window. Excess moisture concerns in this area on exterior. What concerns or corrections have been made here?.....appears that previous water entry occurred through much of the window frame area, may have gotten into wall cavity.....potential hidden damage or concerns. Was this ever opened/checked/assessed?

Den – living space – windows: Wood casement – previous moisture intrusion, south window, touch-up painting completed, minor floor / trim moisture damage. Please provide in writing as to repairs to water entry including both cause & corrections.....prior to repaint re-finish.

- *Our inspector indicated he did not observe any concerns with the windows or walls in these rooms.*
- *He stated that the area had rain on Sunday and Monday of this week and again Tuesday.*



- *Dining Room: He used a moisture meter on 68 different spots on the drywall around the den window, on the window frame and sill area and there was no moisture indicated. Under the window is a VERY minor wall crack- picture included but not sure if the crack will show up. Age of the house and the condition of the wood is normal.*
- *Den: Front window wall that was possible mold at the outlet was professionally repaired and this window was tested in 58 spots with my moisture meter and all was dry. The rear window was tested in 82 different spots and all was dry.*
- *Living Room Window: Moisture meter used in 56 different spots and all tested dry at this time.*
- *It does not appear any action is warranted at this time.*

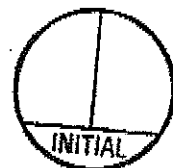
11. There is a negative pressure back-draft issue in the home that must be corrected. Inspector suggests the following: On negative pressure issue, would start with radon mitigator to correct crawl vapor barrier, and take a look as to pressures/concerns, if experienced in radon systems, will be familiar with condition, may have suggestions. If that complete, still a concern, then an HVAC contractor, with experience may want to add a fresh air intake to HVAC system, via return duct, helps balance/equalize pressure, allows to naturally equalize.

- *An HVAC contractor should evaluate the flue exhaust, and a radon mitigation contractor should correct the open seam. However, the determination of house pressurization and equalization is well beyond the scope of the ERC assessment. The buyer's inspector is speculating. It is a highly specialized science to determine pressurization and is a moving target. Many factors can affect house pressure and it can change on an hourly basis.*

We hope this information is helpful in your negotiations with the buyer. Please let me know how we can assist you further.

Sincerely,

Erin Seward
 RAL Inspection Services
 800-766-2366 ext 316
eseward@ralis.com





WIN Home Inspection Extended Home Inspection

This report contains confidential information and is supplied
solely for use by the client(s) of:

JLS Assoc Services, Inc. dba WIN Home Inspection Dublin
6724 Perimeter Loop RD, #189
Dublin, OH 43017
(614) 890-2800 www.wini.com/dublin

Work Order Number: 14893337 Service date: 03/07/2013 Time: 09:00 AM

Site Address:
7860 Jonell Sq
New Albany, OH 43054

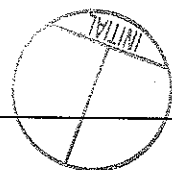
Site Information: Occupied: No Structure: SF wood frame Foundation: Concrete block Weather: Cloudy Temp: 35 Approx. Year Built: 2000 Bedrooms: 4 Bathrooms: 3.20 Floors: 2	Client: (Present at inspection) Name: Address: C/S/Z: Work Ph: Home Ph: Mobile Ph: Other Ph: Email:
--	--

Selling/Buyers Agent: (Present at inspection) Name: Bev Kline Company: New Albany Realty Phone: (614) 939-8900 Ext. Email:	Listing Agent/Other: Name: Company: Phone: Ext. Email:
--	--

Price	355.00
Sales Tax	0.00
Pd at Inspection	355.00
Balance Due	\$0.00

Inspector: Larry Stumph	
License/certification: FOH1198068	JLS Assoc Services, Inc.
Email: Lstumph@wini.com	dba WIN Home Inspection Dublin

Notes:



Extended Home Summary Report

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

The main entry door is considered to face: South

1. Exterior Structure - Siding Condition:

Maintenance

Excessive cracking was visible in stucco covering exterior walls of the home at the time of the inspection. This type of cracking appeared to be consistent with long-term cracking caused by differences in thermal expansion and contraction rates of substrate materials. Cracks should be filled with an appropriate material to prevent freeze damage and monitored in the future for continued activity.

Also noted were areas around windows and water table with moisture staining. This type staining can be an indication of moisture related issues behind the stucco. Further evaluation of the issue is recommended.

2. Exterior Structure - Window Screens:

Maintenance

There are window screens missing or not in place.

3. Exterior Structure - Weep Screed:

None

A drain system for the stucco system could not be located or verified. Stucco wall systems are supposed to adsorb and drain water in some manner; it appears the stucco was meant to drain behind the stucco veneer. Where the drainage terminates is unknown and may be below grade.

4. Main Entry Door - Finish:

Maintenance

The finish on the main exterior door should be considered for refinishing prior to the occurrence of damage.

5. Fire Place/Wood Stove - Exterior Chimney(s) Condition:

Attention

The chimney is beginning to show signs of issues from moisture. It is possible to protect porous building materials such as brick, tiles, concrete and paving against moisture issues by treating the material with an impregnating, hydro-phobic sealer. This is a sealer which repels water and will penetrate deeply enough into the material to keep water well away from the surface. Consideration should be given to having the chimney sealed by a masonry contractor.

6. Fire Place/Wood Stove - Firebox:

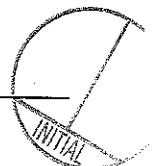
Maintenance

Basement fire place firebox has signs of rust from excessive moisture issues.

7. Utility Basement

Attention

Through the visual inspection the inspector has noted areas on floor joist that have what appear to be indications of mold in this area. Some molds are known to produce toxins and



toxic responses. It is recommended interested parties have mold testing and evaluation. Further specialized testing and evaluation would be required to confirm mold/fungi and bacteria growing in your home. If testing is not performed, the area is under the 10 square feet EPA guidelines and can be cleaned by either party using the EPA guidelines to clean mold. This is only a visual screening and in no way can determine the actual presence or absence of potentially dangerous organisms. For further information on mold testing/screening please contact this office.

8. Heating System - Service Notes/Filter Size:

None visible

Since there are no visible posted service records within the last twelve months, the inspector recommends a certified heating specialist perform a service cleaning, tune-up, system evaluation, and review of the heat exchanger prior to closing. Furnaces need routine service cleanings and this should be done annually as a health and safety consideration.

9. Electrical Service

Attention

There is a backup generator panel and/or transfer switch installed in the home which is not tested under a home inspection, due that the whole house needs to have power turned off to it. Recommend you have a licensed electrician and/or the local power company evaluate the system. Call your local power company to see if they require certification of the generator equipment by the utility company.

10. Raised Foundation - Deteriorated Wood:

Yes

Inspection has revealed deteriorated wood in the crawl space. This condition has been caused by water damage and/or wood destroying fungi. Which appears to be an issue with window directly above this area. Apparently during previous inspections, parties involved in the sale of home were given notice of mold around wall outlet above this area. There was no visible mold at time of inspection near the outlet, but it was noted excessive rust inside wall outlet.

An invasive type inspection in removing small section of drywall under the suspect window in den/office is recommended to determine extent of damage and source of moisture. Also it is recommended to consult with parties having addressed the mold noted during earlier inspections. As to how the mold noted was addressed and if they determined the cause of the mold and corrected it.

11. Structure

Action Required

The exterior inspection revealed areas of excessive moisture staining around windows on front elevation. At time of inspection it was requested to probe the drywall under master bedroom window. A Protimeter Surveymaster moisture meter with wall probes was used to probe wall in two locations, one at end of window and one in middle of window. The test revealed elevated levels of moisture inside the wall at middle of window. Invasive inspection by removing sections of drywall under window is recommended.





HOME INSPECTION

Extended Home Inspection Details

(Italicized comments also appear in summary reports)

The main entry door is considered to face: South

Site Concrete and Paving

1. Driveway(s)/Parking:

Functional

2. Walkways:

Functional

3. Steps:

Functional

Roof

The foregoing is an opinion of the general quality, conditions of the roofing material and associated components at the time /date of the inspection. The inspector cannot and does not offer an opinion or warranty as to whether the roof may be subject to future leakage. The inspection is non-invasive and not technically exhaustive and does not substitute for any disclosure statement as may be required by law. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during prolonged rainfall. Many times, this situation is not present during the inspection. Testing of sub surface drain piping is beyond the scope of our inspection.

1. Roof Cover Material(s):

Composition shingle

2. Roof Type:

Pitched

3. Cover:

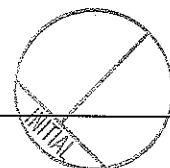
1 Layer

4. Cover Material Condition:

Functional

The roof cover material appears to be in functional condition. The material used on this roof when applied in a workmanship manner has an approximate life expectancy of 18 to 25 years from the date of installation if properly and regularly maintained. (South facing exposure will wear out faster) Our opinion of the roof is based on a visual inspection of the roofs surface and associated components. With any roof, regardless of age, leakage is always possible from time to time. This can occur, for example, along the edges of the roof, and at joints between different roof surfaces. Flashings are also a source of leaks. These repairs are not always easy to accomplish. Shingles may suddenly split due to temperature variations resulting in leakage and premature shingle failure. With proper care, regular inspection and preventive maintenance, the roof cover material should provide a number of years of adequate protection before resurfacing is needed. Our opinion does not constitute a warranty that the roof is, or will remain, free of water intrusion. If you want a water tightness of the roof determined, you should contact a licensed roofer for a warranty. Please refer to the Preventive Home Maintenance Guide for proper care and maintenance recommendations for a roof surface.

This inspection is not a hail damage or wind assessment. If you feel you need such a service it is recommended to contact a qualified roofer or your insurance company.



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

5. Ridges:

Functional

The ridge areas of the roof are usually the first to show wear and deterioration.

6. Valleys:

Satisfactory

7. Flashing/Caulking:

Functional

Preventive Care and Maintenance Recommendation.

The inspector recommends that the caulking around the chimney(s), roof vents and flashing material be inspected and touched up on an annual basis. Flashings are very prone to leakage. Frequently flashings are painted over or covered up and therefore their condition cannot be evaluated completely. Often they separate the adjacent material and permit water intrusion. Fasteners also work loose. These issues are very difficult to detect during a visual inspection. Rain water leaking into the main structure from the roof is a common and avoidable condition of deteriorated flashing and caulking. The cost and time involved in upkeep is minimal as long as it is maintained on an annual basis. Caulking material can be purchased at a local home improvement center.

8. Gutters / Down Spouts:

Functional

The inspector recommends inspecting and cleaning the gutter system and roof surface on an annual basis. The most important reason to have a gutter system is to divert water away from the buildings foundation. Regardless of the type of foundation wall that is present, the possibility for moisture penetration still exists. Therefore, the less water there is around the foundation wall, the less likelihood of water penetration. Gutters are responsible for collecting all water runoff from around the roof, and downspouts should discharge water into proper drains or onto the ground service well away from the foundation. Also all loose/missing gutter spikes and downspout straps should be replaced/secured to prevent sections from sagging, overflowing or pulling off. Only the visible portions of the discharge lines were inspected, the lateral drains were not visible.

9. Drains/Splash Blocks:

Functional

The inspection of the down spout drains did not show visible evidence that they may be plugged with debris. It is important to keep the drains and/or splash blocks clear and functional so that they do not overflow next to the foundation's perimeter. Down spouts that empty along the foundation wall are the most common cause of water penetration into basements and crawl space areas. The inspector recommends inspecting the drains and/or splash blocks after a heavy rain to identify if they are providing their intended service. The downspouts and sump pump discharge lines can often become discounted/misaligned from the lateral underground drain. Extend/secure as necessary to provide leak-free connections.

10. Skylight(s):

None

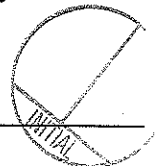
11. Separate Certification Required:

No

12. Roof Evaluated From:

Ground

The roof cover was evaluated from the ground, using visual aid. The roof was NOT fully accessible for viewing due to weather conditions (partial snow cover) at time of inspection.



Exterior Structure

1. Flat Surface Material(s):

Stone/Stucco/Wood

Certain fine or smooth textures accentuate cracks in stucco, while heavier textures tend to hide stucco cracks. Although not all cracks are objectionable, cracks in stucco acceptable to one person might be unacceptable to another person. Cracks can occur in stucco regardless of texture.

Cracks that appear within the first 30 days after installation and are larger than 1/16" (the thickness of a penny) can be filled or repaired with the same color coat material. Cracks that are patched and re-appear could indicate a structural or substrate movement problem, necessitating the use of an elastomeric coating. If a crack is visible from more than 10' away or is a source of leaking, it should be patched. Patching small hairline cracks (smaller than 1/16") is not recommended. Small cracks will not accept material, and the resulting patch will detract from the natural beauty of the stucco and will serve no useful purpose. If these hairline cracks must be repaired, they could be fog coated.

Color coat stucco is not structural; it is a decorative finish. Plaster cracks form when a stronger force exceeds the restraint capacity of the stucco system. Cracks are "stress-related energy." The UBC and ASTM do not call for a required hardness (PSI) for Portland Cement Plaster. Minor cracking at the corners of doors and windows and other stress points is reasonable and should be anticipated.

There are two primary reasons for stucco to crack:

Shrinkage cracks may develop as the excess water evaporates from the drying cement mix. Shrinkage cracks can occur very early on and cannot be seen after the finish color coat is applied. Hairline or egg shell cracking or "checking" in the finish color coat is also the result of a rapid dry out and most commonly occurs on hot, windy days.

Structural cracks can occur in stucco when stress is transferred to the plaster membrane from various external sources.

Chipped corners and small spalls can be patched. Premixed mortar can do the job. It will require only the addition of water, mixing to a doughy consistency, then troweling into the area to be patched and finishing to match the texture of the surrounding surface. The patch area should be dampened before patching.

2. Siding Condition:

Maintenance

Excessive cracking was visible in stucco covering exterior walls of the home at the time of the inspection. This type of cracking appeared to be consistent with long-term cracking caused by differences in thermal expansion and contraction rates of substrate materials. Cracks should be filled with an appropriate material to prevent freeze damage and monitored in the future for continued activity.

Also noted were areas around windows and water table with moisture staining. This type staining can be an indication of moisture related issues behind the stucco. Further evaluation of the issue is recommended.

3. Painted Surfaces:

Satisfactory

Currently the recommended industry standard is to paint the exposed wood of a home every 3-4 years. Periodic touch up is often needed in between paintings on those sides of the structure more prone to

Extended Home Inspection Details

(Italicized comments also appear in summary reports)

weathering.

4. Glaze/Caulking Window Pane:

N/A

5. Window Glass:

Satisfactory

6. Caulking Structure:

Satisfactory

Touching up the structure caulking around the tops and sides of the window and door trim is often needed in between paintings. The caulking keeps rain water from penetrating behind the siding material and causing premature deterioration of the material.

7. Eave/Soffit Areas:

Satisfactory

8. Fascia Boards / Trim:

Satisfactory

The fascia behind gutters was not visible to the inspector, true conditions of these areas are unknown.

9. Window Screens:

Maintenance

There are window screens missing or not in place.

10. Double Pane Seals/Insulating Windows:

Satisfactory

At the time of the inspection the double pane insulating window seals were inspected and appeared to be in functional condition. The visual inspection of the windows may not disclose seals that have lost their vacuum seal in between the panes of glass. The deficiency is sometimes only visible under certain climatic and/or light conditions.

11. Weep Screed:

None

A drain system for the stucco system could not be located or verified. Stucco wall systems are supposed to adsorb and drain water in some manner; it appears the stucco was meant to drain behind the stucco veneer. Where the drainage terminates is unknown and may be below grade.

Structure Perimeter Exterior

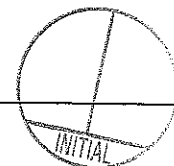
At the time of inspection, there was snow on the property. The home inspection is limited in scope and nature to only those areas that are visible and accessible at the time of inspection. Be advised that the snow may conceal exterior defects that the inspector could not view. **DISCLAIMER:** The true condition of the following items is undetermined: lot drainage, drainage along the foundation, driveway, walks, patio, deck, and foundation above grade level, basement windows, lower siding & trim, steps to building, roof, gutters & chimney. You should re-examine each of the above listed areas during the first thaw. If your research reveals any major concerns, you should contact my office for further consultation or schedule an optional "return visit inspection."

1. Foundation Material(s):

Concrete Block

2. Vent Screens:

N/A



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

3. Vent Covers:

N/A

4. Visible Cracks:

N/A

Not visible, stucco below grade.

5. Evidence of Separation over 1/4":

No

The visual inspection of the exterior of the foundation did not reveal cracking in the foundation system with openings in excess of 1/4" in separation.

6. Evidence of Movement:

No

7. Site Drainage:

Satisfactory

The grading around the exterior of the structure is either level or sloping away from the foundation which should prevent rain water from draining toward the foundation. Where lot lines, walls, slopes or other physical barriers prohibit proper surface drainage, drains or swales should be provided to ensure drainage away from the structure. A detailed treatment of drainage design is beyond the scope of this inspection. Maintaining a well drained site is critical in helping prevent moisture issues in the basement. A best effort was used to observe and inform you of any visible problems with the site drainage. However, this report does not insure nor guarantee against future issue with site drainage and water infiltration.

8. Evidence of Erosion:

No

9. Evidence of Insects:

N/A

The scope of this inspection does not include wood destroying insects.

10. Evidence of Animal Infestation:

No

11. Proper Earth-Wood Clearance:

Yes

Inspection around the perimeter of the structure does not show any contact of earth to wood. There should be no contact between the earth and the exterior surface material to prevent wood deterioration and a conducive condition for pest infestation. The inspector recommends always providing at least 4-6 inches of clearance between the earth and wood siding material as a preventive maintenance measure.

12. Vegetation Clear from Structure:

Yes

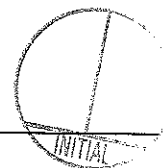
There is no vegetation growing up against the exterior surface material. All vegetation should be kept trimmed at least 6-12 inches away from the structure to eliminate a common avenue for pest infestation and damage to the exterior structure material.

13. Address Identification:

Satisfactory

14. Mail Box:

Functional



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

15. Watering System:

Yes

The property is equipped with an automatic watering system that adds a positive aspect to the property. Testing the system is not within the scope of the inspection. The inspector recommends questioning the home seller on how to operate the system.

16. Window Wells:

Satisfactory

17. Retaining wall(s):

N/A

Utility Services

1. Electrical Services:

Underground

2. Water Source:

City

The homeowner is responsible for the repair and/or maintenance of the underground water, sewer and gas lines to the hook-up, disconnect/shut off at the street. These lines are not visible for inspection and their condition is unknown. Low cost monthly maintenance plans may be available from Columbia Gas or other service vendors to repair or replace these lines in the event of failure.

3. Water Meter Location:

Basement

4. Water Shutoff:

At meter

5. Sewer:

City

6. Sewer Line Clean-out:

Basement

7. Telephone:

Underground

8. Cable TV Service:

Underground

9. Gas Service:

Natural

The inspector recommends purchasing an emergency shut off tool for the gas meter. A crescent wrench or special shut off tool can be purchased at your local hardware or home improvement center. The inspector recommends attaching it with a piece of string to the meter for easy accessibility.

10. Gas Odors:

None Noted

At time of inspection there were no gas leak odors noted. This inspection /report is not a gas line warranty. If you should wish to purchase a gas line warranty it is recommended to do so with an independent service provider for an additional fee.



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

11. Vents/Exhaust:

N/A

12. Service Shut Off(s):

Meters & appliances

Patios/Decking/Porches

1. Surface(s):

Satisfactory

2. Concrete Slab:

Brick Pavers

3. Electrical Service:

Yes

4. Weather Protected Outlet(s):

Yes

5. Natural Gas Service/Equipment:

N/A

6. Lights:

Functional

7. Cover/Enclosure:

None

Attic

1. Access Location / Type:

Bedroom closet/Hatch

2. Access:

Satisfactory

The attic access provided to gain entry to the attic area is adequate.

3. Ventilation:

Satisfactory

The inspector has been able to observe what appears to be satisfactory passive ventilation in the attic area. Attic ventilation is the most often neglected component in a home. Proper ventilation will increase the life of the roof, prevent condensation from forming in the attic area which affects insulation and wood members. In addition, proper ventilation will dramatically decrease your cooling requirements.

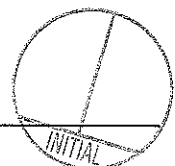
4. Insulation:

Blown in fiberglass

5. Inaccessible Areas:

Yes

There were sections of the attic that were not completely accessible to the inspector due to reduced clearance of roof framing members or mechanical apparatus. A condition may exist in the areas of the attic that the inspector could not inspect from the access areas.



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

6. Duct Work Piping:

Satisfactory

There were no apparent issues with the visible duct work as viewed from the attic at time of inspection.

7. Attic Evaluated By:

Head-Shoulder

8. Roof Inspect from Underside:

Yes

The underside of the accessible/visible areas of the roof were inspected.

9. Exposed Rafters/Sheathing:

Yes

10. Light Thru:

No

The inspection of the visible attic space found no evidence of gaps in flashing or structure members that would allow rain water penetration into the attic.

11. Framing condition:

Functional

The visible roof framing was acceptable at time of inspection. This report does not include an exhaustive calculation for adequacy of the design of the roof trusses.

Bathroom(s)/Washroom(s)

1. Location(s):

Master

2. Floor Cover:

Satisfactory

3. Mildew Noted:

N/A

4. Basin(s)/Fixtures:

Satisfactory

5. Basin Drain:

Functional

6. Shower Fixtures:

Functional

7. Shower Head(s):

Functional

8. Shower/Tub Enclosure(s):

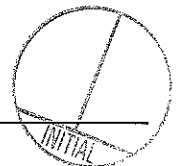
Satisfactory

9. Water Resist Cover Wall Cover:

Satisfactory

10. Caulking - Water Exposed Area:

Satisfactory



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

11. Tub(s):

Functional

The jacuzzi tub appeared to be functional and there were no visible leaks in the tub at the time of the inspection, access was limited to a visual - no access to plumbing/pump was available. Periodic inspection of the pump area is recommended in order to identify any small leak that may develop. Periodic inspection is important in order to prevent any significant damage caused from a leak. Before using fill tub and add few table spoons of White Vinegar run for 20 min and drain. Fill tub once again with fresh water run for 20 min and drain.

12. Tub Fixtures:

Functional

13. Tub/Shower Drain(s):

Functional

14. Toilet(s):

Functional

15. Ventilation:

Functional

16. Heat:

Functional

17. Window(s):

Satisfactory

18. Medicine Cabinet/Vanity:

N/A

19. Ceiling/Walls/Doors:

Functional

Bathroom(s)/Washroom(s)

1. Location(s):

Jack and Jill

2. Floor Cover:

Satisfactory

3. Mildew Noted:

N/A

4. Basin(s)/Fixtures:

Satisfactory

5. Basin Drain:

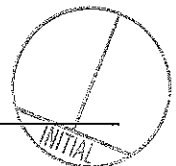
Functional

6. Shower Fixtures:

Functional

7. Shower Head(s):

Functional



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

8. Shower/Tub Enclosure(s):

Satisfactory

9. Water Resist Cover Wall Cover:

Satisfactory

10. Caulking - Water Exposed Area:

Satisfactory

11. Tub(s):

Functional

12. Tub Fixtures:

Functional

13. Tub/Shower Drain(s):

Functional

14. Toilet(s):

Functional

15. Ventilation:

Functional

16. Heat:

Functional

17. Window(s):

None

18. Medicine Cabinet/Vanity:

N/A

19. Ceiling/Walls/Doors:

Functional

Bathroom(s)/Washroom(s)

1. Location(s):

Guest bedroom

2. Floor Cover:

Satisfactory

3. Mildew Noted:

N/A

4. Basin(s)/Fixtures:

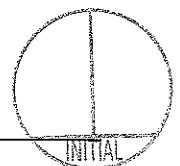
Satisfactory

5. Basin Drain:

Functional

6. Shower Fixtures:

Functional



- 7. **Shower Head(s):**
Functional
- 8. **Shower/Tub Enclosure(s):**
Satisfactory
- 9. **Water Resist Cover Wall Cover:**
Satisfactory
- 10. **Caulking - Water Exposed Area:**
Satisfactory
- 11. **Tub(s):**
None
- 12. **Tub/Shower Drain(s):**
Functional
- 13. **Toilet(s):**
Functional
- 14. **Ventilation:**
Functional
- 15. **Heat:**
Functional
- 16. **Window(s):**
None
- 17. **Medicine Cabinet/Vanity:**
N/A
- 18. **Ceiling/Walls/Doors:**
Functional

1/2 Bathroom

- 1. **Location(s):**
Main floor - hallway
- 2. **Floor Cover:**
Satisfactory
The bathroom floor cover appears serviceable.
- 3. **Basin(s)/Fixture(s):**
Satisfactory
Fixtures and basin appear serviceable. If present shut-off valves in supply lines o fixtures are not operated for inspection because of possible failure.
- 4. **Basin Drain:**
Functional
The basin drain appears serviceable.
- 5. **Toilet(s):**
Functional
The toilet was inspected for cracks and serviceability. The toilet should be inspected periodically for indications of cracking in the toilet box, tank or base. Cracks are an indication that the toilet has reached



the end of its useful life and should be replaced before it leaks.

6. Ventilation:

Functional

7. Heat:

Functional

1/2 Bathroom

1. Location(s):

Basement

2. Floor Cover:

Satisfactory

The bathroom floor cover appears serviceable.

3. Basin(s)/Fixture(s):

Satisfactory

Fixtures and basin appear serviceable. If present shut-off valves in supply lines o fixtures are not operated for inspection because of possible failure.

4. Basin Drain:

Functional

The basin drain appears serviceable.

5. Toilet(s):

Functional

The toilet was inspected for cracks and serviceability. The toilet should be inspected periodically for indications of cracking in the toilet box, tank or base. Cracks are an indication that the toilet has reached the end of its useful life and should be replaced before it leaks.

6. Ventilation:

None

There was no ventilation fan visible in the basement 1/2 bathroom. Consideration may be given to installing an exhaust fan for comfort considerations.

7. Heat:

None

Main Entry Door

1. Correct Application:

Yes

The main entry door appears to be of proper construction and application.

2. Door Fit:

Functional

3. Weather Strip:

Functional

4. Finish:

Maintenance

The finish on the main exterior door should be considered for refinishing prior to the occurrence of damage.



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

5. Dead Bolts:

Yes

It is recommended to have all locks changed, or re-keyed after closing on the property for security reasons.

6. Storm/Screen/Doors:

None

7. Door Chime:

Functional

8. Intercom:

No

9. Lighting:

Satisfactory

Kitchen(s)

1. Floor Cover Material:

Satisfactory

2. Under Sink Inspection:

Satisfactory

3. Ceiling/Walls/Doors:

Satisfactory

4. Sink/Faucet Leak:

No

5. Drains Appear Clear:

Yes

6. Stove Exhaust Fan:

Functional

7. Stove Exhaust Filter:

Functional

The cook top grease filter can be cleaned in the dishwasher periodically.

8. Kitchen Windows:

Satisfactory

9. Water For Refrigerator:

Yes

10. Stove/Cook Top:

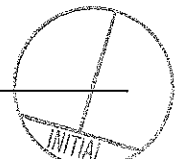
Electric

11. Cook top, Burners/Elements:

Functional

12. Controls:

Functional



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

13. Built-in Microwave Operational:

Not tested

14. Built-in Microwave Door Appearance:

Functional

15. Oven:

Electric

16. Oven Operational:

Yes

The oven was checked for on, off operation only. This is not a guarantee the oven will respond to set temperatures.

17. Oven Appearance/Condition:

Functional

18. Counter Tops:

Satisfactory

19. Garbage Disposal:

Functional

20. Lighting:

Functional

21. Woodwork Finishes:

Satisfactory

22. Drawers/Doors:

Functional

23. Dishwasher:

Functional

The dishwasher appears to be working. An on/off check of the dishwasher was performed to determine if it is operational. A full cycle check is often not possible in the time of this inspection; therefore, we cannot comment on the full extent of its functions or its ability to clean.

24. Trash Compactor:

No

Other Ext. Entry Doors

1. Locations:

Kitchen Family room

2. Correct Applications:

Yes

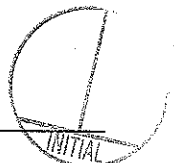
The secondary structure entry doors appear to be of proper construction and application.

3. Finishes:

Satisfactory

4. Door Fit:

Functional



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

5. Weather Stripping:

Functional

6. Storm/Screen Door(s):

None

7. Locks:

Functional

Fire Place/Wood Stove

A program of regular inspection by a chimney professional is recommended for continued safe operation of the system. The most common maintenance issue discovered for a masonry chimney is missing/deteriorated mortar or a cracked/deteriorated crown. Missing mortar/cracks can lead to water penetration behind the brick surface. In cold temperatures this may cause a freeze-thaw situation. The result is spalling (cracking or flaking) of the brick surface.

1. Solid Fuel/Gas Logs/Gas Appliance:

Gas logs

The fireplace is equipped with gas logs. The inspector does not light these types of appliances within the scope of the national home inspection guidelines. This inspection does not cover code clearances and improper installation. If additional information and certification is desired, contact this inspection service.

2. Exterior Chimney(s) Condition:

Attention

The chimney is beginning to show signs of issues from moisture. It is possible to protect porous building materials such as brick, tiles, concrete and paving against moisture issues by treating the material with an impregnating, hydro-phobic sealer. This is a sealer which repels water and will penetrate deeply enough into the material to keep water well away from the surface. Consideration should be given to having the chimney sealed by a masonry contractor.

3. Flue Dampers:

Satisfactory

4. Flue Condition:

Satisfactory

5. Location:

Main Flr /Bsmt

6. Firebox:

Maintenance

Basement fire place firebox has signs of rust from excessive moisture issues.

Laundry Area

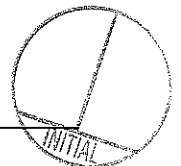
1. Location:

Adjacent to hall

2. Washer Hookup(s):

Yes

It the absence of laundry appliances, water supply conditions for laundry could not be confirmed.



3. Dryer Hookup(s):

Yes

4. Gas Service:

Yes

5. Dryer Electrical Service 240V:

Yes

Not tested

6. Drain(s):

Not tested

The inspector was unable to test the function of the washer drain because there was no washing machine present.

7. Laundry Basin:

Functional

8. Dryer Ventilation System:

Satisfactory

9. Floor Condition:

Satisfactory

10. Lighting:

Satisfactory

Utility Basement

Through the visual inspection the inspector has noted areas on floor joist that have what appear to be indications of mold in this area. Some molds are known to produce toxins and toxic responses. It is recommended interested parties have mold testing and evaluation. Further specialized testing and evaluation would be required to confirm mold/fungi and bacteria growing in your home. If testing is not performed, the area is under the 10 square feet EPA guidelines and can be cleaned by either party using the EPA guidelines to clean mold. This is only a visual screening and in no way can determine the actual presence or absence of potentially dangerous organisms. For further information on mold testing/screening please contact this office.

1. Access Location:

Off of Kitchen

2. Access (Stairs):

Satisfactory

3. Lighting:

Satisfactory

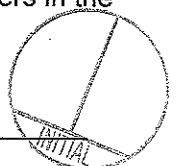
4. Living Area:

Yes

5. Floor/Walls:

Satisfactory

Much of the lower level area is finished. Therefore it is not possible to observed the basement walls in the finished area for possible cracks or moisture entry. Likewise, the structural floor joist members in the finished area could not be observed.



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

6. Cracks 1/4" Separation:

No

7. Moisture/Dampness:

Satisfactory

Where accessible at the basement level at time of inspection, no apparent signs of prior water infiltration were visible, however this report does not insure nor guarantees against future basement water infiltration.

All basements may suffer from dampness or seepage depending on seasonal weather conditions and drainage control measures employed or neglected. If ground water tables saturate soil near the foundation, or if negative drainage directs surface water towards the foundation, or if roof drainage lingers near the foundation; then hydrostatic water pressure can overcome foundation water resistance and infiltrate the basement. To prevent false expectations regarding the home inspection, please understand that the inspection only took place on one day of the year. The inspector can NOT anticipate all climatic conditions and drainage conditions and predictions of wet basement difficulties.

8. Exposed Ducts/Piping:

Satisfactory

9. Ventilation:

Satisfactory

10. Odor:

No

11. Evidence of Insects:

N/A

The scope of this inspection does not include wood destroying insects.

12. Utilities:

Gas/Water/Elec.

13. Window(s)/Door(s):

Satisfactory

Plumbing

A large portion of the plumbing system is hidden behind walls, floors and ceilings. A program of regular inspection by the homeowner should be considered in order to indemnify any visible leaks prior to causing any substantial damage.

Once a home has been vacant for a period of time there is an increased chance of leaks once the home is occupied again. Recommend monitoring this condition.

1. Size Service to Structure:

3/4 inch

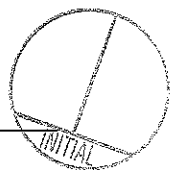
Service pipe from the meter to the structure is 3/4" .

2. Structure Pipe Material:

Copper

3. Waste Pipe Material:

Plastic





HOME INSPECTION

Extended Home Inspection Details

(Italicized comments also appear in summary reports)

4. Pipe Rumble Noise:

No

5. Surge Bangs:

No

6. Encrustations Evident:

No

Encrustations (readily visible deposits at the pipe connections) are an early indication of a developing leak.

7. Mineral Deposits:

No

8. Water Pipe Insulation:

No

9. Evidence of Leaks:

No

An inspection of the readily accessible sections of the plumbing water supply, waste pipes, faucets and fixtures identified no visible leaks that require repair at this time. A large portion of the plumbing system is hidden behind walls, floors, and ceiling. A program of regular inspection by the homeowner should be considered in order to identify any visible leaks prior to causing any substantial damage.

10. Interior Water Flow:

Functional

The interior water flow at the faucets is at a functional level. A number of fixtures were operated at the same time and we observed reasonable flow at the shower head(s).

11. Exterior Water Flow:

N/A

Exterior water flow was not tested. Garden hoses should not be left connected to the exterior or garage spigots in the winter months, as this can increase to possibility of the pipe/valves freezing and possible failure.

12. Pressure Readings Interior/Exterior:

None taken

Determining high water pressure within a home is outside the scope of this home inspection.

13. Soft Water System:

None

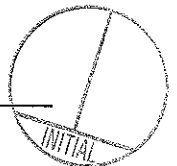
14. Filter System:

None

15. Drainage and Sump Pumps:

Functional

The sump pump installed was not accessible at time of inspection. Lid was sealed due to radon mitigation system. True conditions are undetermined. Periodic inspections the sump pump is recommended to check the intended service. The inspector recommends keeping the bottom of the sump pit free of debris that can clog the intake ports of the pump and checking the pump discharge line after a heavy rain for proper drainage. Consideration should be given to a back-up pump and/or battery back-up for power failures if the pump cycles on and off frequently during damp periods. This inspection is not an assurance that the sump pump will continue to work in the future. Sump pumps can fail at any time.



Heating System

The inspector is not equipped to fully inspect furnace heat exchangers for evidence of cracks or holes, as dismantling the unit can only do this. This is beyond the scope of a home inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector cannot light pilot lights.

1. System Type(s)/Info:

Gas-fired furnace

The heating system was on/off tested and found to be operational under normal operating procedures. When a heat exchanger develops a crack, small hole, or fails, carbon monoxide will leak into the heating air stream creating an unsafe condition. A conventional gas fired forced air furnace contains a heat exchanger which has an average life expectancy of twenty to twenty-five years from the date of installation. However, there have been exceptions on both sides. As a preventive safety consideration, the inspector recommends having the furnace professionally serviced as per manufacturers specifications and installing a carbon monoxide detector(s) in the house. A carbon monoxide detector can be purchased at a local hardware store.

2. Location(s):

Basement

3. Thermostat Condition:

Functional

4. On/Off Check:

Satisfactory

The on/off function of the thermostat appeared to be functioning properly. This inspection company only checks the operation of the furnace and in no way guarantees any mechanical component(heat exchangers, compressors etc.) for useful life, serviceability or efficiency.

5. Operation Noise:

Satisfactory

6. Electronic Filter System:

No

7. Vents/Flues:

Satisfactory

8. Ducts/Returns/Radiators:

Satisfactory

The inspector recommends having the heating/cooling ductwork professionally cleaned every 2-4 years. Components appear serviceable at this time.

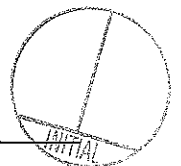
9. Non-Heated Area(s):

None

10. Service Notes/Filter Size:

None visible

Since there are no visible posted service records within the last twelve months, the inspector recommends a certified heating specialist perform a service cleaning, tune-up, system evaluation, and review of the heat exchanger prior to closing. Furnaces need routine service cleanings and this should be done annually as a health and safety consideration.



Air Conditioning

1. Type of Units:

Split AC

2. Location of Units:

Side yard

3. Systems Operation:

Not Tested

Severe damage can occur to air conditioning compressors if they are turned on when the outside temperature is below 60° F. Temperatures of above 60 degrees for a 48 hour period prior to starting the unit are recommended.

4. Service Records/Last Service:

Not available

5. Energy Source:

Electric 240 volts

6. Condensing Coil Condition:

Satisfactory

Components appear serviceable at this time.

7. Power Disconnect Location:

At unit and main elec panel

8. Condensate Drain System:

Functional

The condensate drain system is installed and appears to be without any visible flaws.

Water Heater

The recommended temperature setting for water heater is 120° F or lower to prevent possible scalding of small children or the elderly. Providing a least two feet of clearance from combustible around the water heater is also recommended.

1. Location(s):

Basement

2. Type:

Gas

3. Size Main/Aux (Gal):

50 Gallons approx US

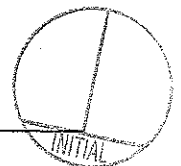
4. Evidence of Leaks:

No

There were no visible leaks in the water heater that would indicate the water heater is in need of replacing. Inspecting the bottom of the water heater periodically for evidence of moisture is recommended.

5. Evidence of Encrustation:

No



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

6. Safety Valve:

Installed

There is a temperature and pressure relief valve install on the water heater. Valve is not tested has it is prone to leakage on testing.

7. Discharge Pipe:

Functional

There is a discharge tube connected to the pressure relief valve. The tube is installed to prevent someone from being sprayed with hot water in the event that the valve discharges. Discharging of the valves is uncommon and usually indicates that the water heater is in need of service or the relief valve is in need of replacing.

8. Insulation Blanket:

None

9. Installation:

Functional

Electrical Service

There is a backup generator panel and/or transfer switch installed in the home which is not tested under a home inspection, due that the whole house needs to have power turned off to it. Recommend you have a licensed electrician and/or the local power company evaluate the system. Call your local power company to see if they require certification of the generator equipment by the utility company.

1. Panel/Sub Panel Location(s):

Basement

2. Service Size (Amps) / (Volts):

200 amps 240 volts

Our observation of the electrical system is limited to the visible components, the entrance cable, meter box, service panel, outlets, and switches, and the visible portion of the wiring. A large portion of the electrical system is hidden behind wall and ceilings.

3. Over Current Devices:

Breakers

4. Service to Panel:

Aluminum

5. Panel to Structure:

Copper

From what the inspector could identify, the electrical wiring is ROMEX wiring. The sections of wiring visible at the time of the inspection appeared to be functional.

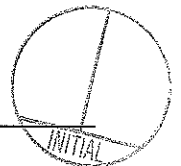
6. Panel Cover:

Functional

7. Panel Cover(s) Removed:

Yes

The face plate of the electrical panel was removed at one or more of the electrical panels to provide the inspector visual access for verification.



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

8. Breaker Configuration:

Satisfactory

9. Wire-Over Current Compatibility:

Satisfactory

10. Receptacle Ground Verify:

Satisfactory

The inspector has SPOT CHECKED the three-prong female 110 volt electrical outlets throughout the structure, and has not found any that were not correctly grounded. NOTE! This is not a warranty and an undiscovered condition may exist.

11. G.F.C.I. Protection:

Test OK

Current electrical requirements call for Ground Fault Circuit Interrupters (GFCI) to be located in areas where there is a potential danger of electrical shock. Areas such as kitchens, bathrooms, garages and exterior outlets. Testing the outlets for proper operation on a monthly basis is recommended.

12. Service Ground Verified:

Yes

The main ground for the electrical service has been verified.

13. Plugs, Switches, Junction Boxes, Lighting:

Functional

The inspector was able to identify and report on the condition of those outlets, switches and junction boxes that were visible and accessible at the time of the inspection. A representative number of plugs and switches were tested in each room.

14. Wire Method:

Romex

From what the inspector could identify, the electrical wiring is 3 wire shielded cable.

Raised Foundation

It is not unusual to find occasional moisture and dampness in the crawlspaces and we advise annual inspections of this area. Significant or frequent water accumulation can affect the structure's foundation and support system and would indicate the need for further evaluation by professional drainage contractor. We advise to monitor your crawlspace during the rainy season.

1. Access Location:

Basement

2. Access Size:

Satisfactory

3. Clearance:

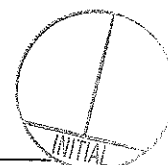
Satisfactory

4. Inaccessible Areas:

None

5. Debris/Trash:

None





HOME INSPECTION

Extended Home Inspection Details

(Italicized comments also appear in summary reports)

6. Moisture/Dampness:

Satisfactory

Where accessible in the crawl space at time of inspection, no apparent signs of prior water infiltration were visible. NOTICE: A BEST EFFORT WAS USED TO OBSERVE AND INFORM YOU OF VISIBLE DAMPNESS PROBLEMS WITHIN THE ACCESSIBLE PARTS OF THE CRAWL SPACE. HOWEVER, THIS REPORT DOES NOT INSURE NOR GUARANTEE AGAINST FUTURE CRAWL SPACE WATER INFILTRATION. Most crawl spaces are only "damp proofed" and not "water proofed".

7. Vapor Barrier:

Satisfactory

8. Ventilation:

Satisfactory

9. Evidence of Animals:

N/A

10. Evidence of Insects:

N/A

11. Deteriorated Wood:

Yes

Inspection has revealed deteriorated wood in the crawl space. This condition has be caused by water damage and/or wood destroying fungi. Which appears to be an issue with window directly above this area. Apparently during previous inspections, parties involved in the sale of home were given notice of mold around wall outlet above this area. There was no visible mold at time of inspection near the outlet, but it was noted excessive rust inside wall outlet.

An invasive type inspection in removing small section of drywall under the suspect window in den/office is recommended to determine extent of damage and source of moisture. Also it is recommended to consult with parties having addressed the mold noted during earlier inspections. As to how the mold noted was addressed and if they determined the cause of the mold and corrected it.

12. Proper Earth-Wood Clearance:

Yes

Inspection of the crawl space area does not show any contact of earth to wood.

13. Wood Members:

Satisfactory

14. Pipe/Ducts:

Satisfactory

15. Evidence of Cracks - Stem Walls:

Yes

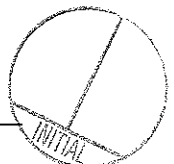
16. Separation Over 1/4":

No

17. Sill Plate Anchors:

Not Verified

The inspector was not able to verify the placement of the sill-plate anchors. The sill-plate anchors may be covered and not visible or they may not exist.



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

18. Method of Inspection:

Entrance

19. Insulation:

Batten Insulation

The fiberglass batten insulation in the crawl through area appears to be providing its desired service at this time. Be advised that while the presence of the insulation is beneficial in terms of energy conservation, it also prevented the inspector from viewing much of the foundation. Signs of pest activity, decay, structural problems (such as cracks) or water infiltration could easily be hidden by the insulation. Battens periodically will fall or be knocked down. Periodic inspection of the area insulation is recommended to ensure desired service.

20. Pier type and condition:

N/A

Structure

The exterior inspection revealed areas of excessive moisture staining around windows on front elevation. At time of inspection it was requested to probe the drywall under master bedroom window. A Protimeter Surveymaster moisture meter with wall probes was used to probe wall in two locations, one at end of window and one in middle of window. The test revealed elevated levels of moisture inside the wall at middle of window. Invasive inspection by removing sections of drywall under window is recommended.

1. Description:

Wood framed

2. Approx. Year Built:

2000

3. Bedroom(s):

4

4. Bathroom(s):

3.20

5. Other Room(s):

LR,DR,FR Den

6. Remodel/Modernization Evident:

No

7. Repairs Evident:

No

8. Insulating Rating Evident:

No

9. Insulation:

Not visible in walls

10. Smoke Detector(s):

Satisfactory

The smoke/fire detectors were functional at the time of the inspection. The inspector recommends testing the system prior to occupying the structure and every month to identify functional operation of the battery powered detectors. Current standards require a smoke/fire detector on each level of the structure with at



Extended Home Inspection Details

(Italicized comments also appear in summary reports)

least one in each bedroom and adjacent to each sleeping area. Fire safety officials recommend replacing detectors after 10 years of service. Consideration should also be given to the installation of carbon monoxide detectors for additional safety.

11. Alarm/Security System:

Yes

The structure is equipped with a security system that should provide for added safety. The system was not tested under the scope of the inspection. The inspector recommends questioning the current home owner on how to operate the system.

12. Windows, Latches/Locks:

Functional

At the time of the inspection a random inspection was performed to see if windows would open and close, and the latches and locks appeared to be functional. Most window latches will need periodic adjustment. This is only a random test and in no way a guarantee that all windows are functional

13. Asbestos Noted:

N/A

The scope of this inspection does not include an asbestos in materials sampling inspection.

14. Lead:

N/A

The scope of this inspection does not include a lead in materials sampling inspection.

15. Furn/Storage:

Vacant

The home was empty of furniture and/or storage of items at the time of the inspection.

16. Party or Lot Line Wall:

No

17. Floor Structure:

Wood joists

The visible floor framing was acceptable at time of inspection. This report does not include an exhaustive calculation for adequacy of the design of the floor joist.

18. Ceiling Structure:

Wood framing

19. Roof Structure:

Roof rafters

20. Interior Walls:

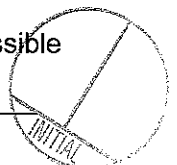
Drywall

21. Interior Stairway Structure:

Functional

Attached Garage

The garage drywall inspection revealed areas of cracking near ceiling/wall junctures. These are signs of settlement/movement within the structure. We did not see any visible sign of a structural deficiency, however the structural components were not visible. There was no obvious sign of improper beam design or improper support at the time of inspection. This report does not include an exhaustive calculation for adequacy of the design of the building. This situation should be monitored. It is possible





HOME INSPECTION

Extended Home Inspection Details

(Italicized comments also appear in summary reports)

that any subsequent unusual settlement may necessitate further investigation and possible repairs.

1. Size:

Four car

2. Garage Door(s):

Functional

The inspector recommends checking the garage door springs , tracks, wheels and hinge hardware periodically for lose or missing nuts/bolts and securing and/or replacing them as necessary.

3. Automatic Opener(s):

Functional

The automatic garage door opener was identified to be in working order at the time of the inspection.

4. Springs/Mount:

Functional

The door mounting hardware and springs appear serviceable.

5. Safety Operation, Opener(s):

Functional

The safety feature of the garage door when it encounters an obstacle in the closing position appeared to be functioning. Periodic adjustment is often needed as the unit ages.

6. Door Seal:

Functional

The seal on the bottom of the garage door appears to be in functional condition and should provide for intended service.

7. Floor/Foundation:

Satisfactory

The accessible areas of the garage floor appeared to be functional at the time of the inspection.

8. Heat:

No

9. Window(s):

Satisfactory

10. Evidence of Rodents:

No

11. Lighting:

Functional

12. Insulation:

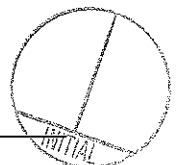
N/A

The inspector was unable to verify the presence or absence of insulation in the garage walls and ceiling. Garages of this type are typically not insulated.

13. Fire Wall/Ceiling Board:

Satisfactory

The common wall/ceiling between the house and the garage appears to provide required fire wall conditions.





HOME INSPECTION

Extended Home Inspection Details

(Italicized comments also appear in summary reports)

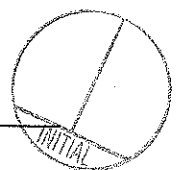
14. Door(s), Garage - Building:

Functional

The service door to from house to garage appears serviceable.

15. Evidence of Moisture Penetration:

No



March 12, 2013



Re: 7860 Jonell

Observations of the above property were performed by the writer on March 11, 2013. The primary purpose of the observations was evaluating conditions of moisture issues around windows that was addressed in a home inspection as being deficient.

As a Professional Building Inspector, it is our responsibility to evaluate available evidence relevant to the purpose of this inspection, which are considered material defects and were not observable during a normal review of the property. We are not, however responsible for conditions that could not be seen or were not within the scope of our service at the time of inspection.

This report is based on an examination of the listed areas only. This report is my professional opinion about the condition of these portions of the home only. It is based on evidence available during diligent observations. No surface materials were removed, no destructive testing undertaken. This report is not an exhaustive technical evaluation.

Concern: Moisture damage to interior of walls.

Upon removal of drywall under two window as recommended on the home inspection report; there were elevated levels of moisture noted inside of walls. Other inspections have been conducted on the property also addressing concerns with moisture around windows. I did notice fungal type growth in walls under both windows.

Therefore it is my recommendation to be able to have a fair assessment of the issue, that one window on each elevation and each floor have drywall removed around entire perimeter windows for a complete inspection.

Also qualified contractor should perform water penetration testing on the stucco cladding and around windows to insure the wall system drainage planes and flashings have been installed in a workmanlike manner and are functional. We recommend using ASTM standards E1105-00 and WK6091. Without further testing using these defensible standards we would recommend an invasive type inspection be conducted. If you should have any questions, please contact our office.

There are many ways to address an issue such as this. As a result, you may encounter contractor's whose opinion about the condition differ from ours. I certify that I have no interest, present or prospective, in the property, buyer, seller, broker, mortgagee, or any other party involved in the property. The above represents the opinion of this inspector of the condition of this property on the above date, based on a visual inspection of accessible areas. Our services were performed using the degree of skill normally exercised by practicing individuals in the area and similar locals.

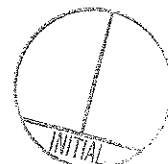
Sincerely,

Larry Stumph, CRI, CEI, ACI
Certified ASHI Inspector # 205027

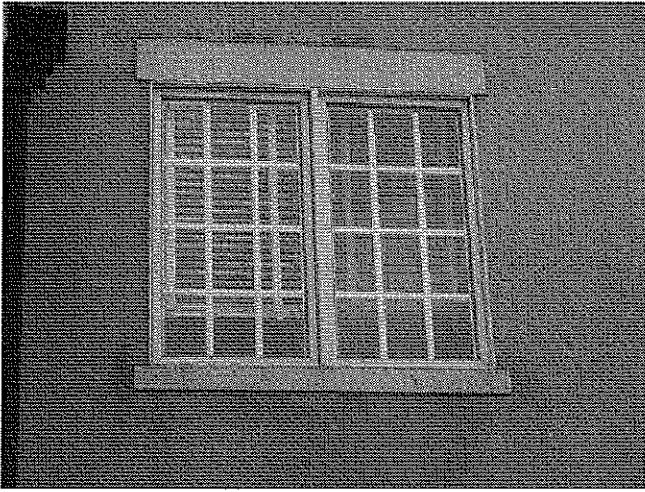


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6724 Perimeter Loop Rd
Dublin, OH 43017
Lstumph@wini.com
www.wini.com/dublin

614.890.2800
614.890.8904 Fax



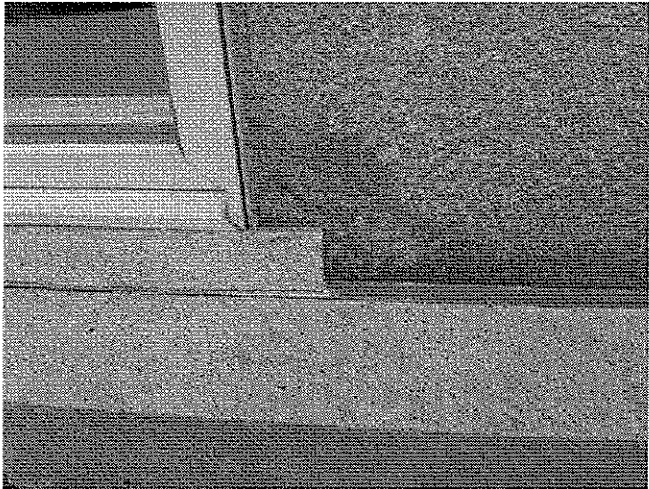
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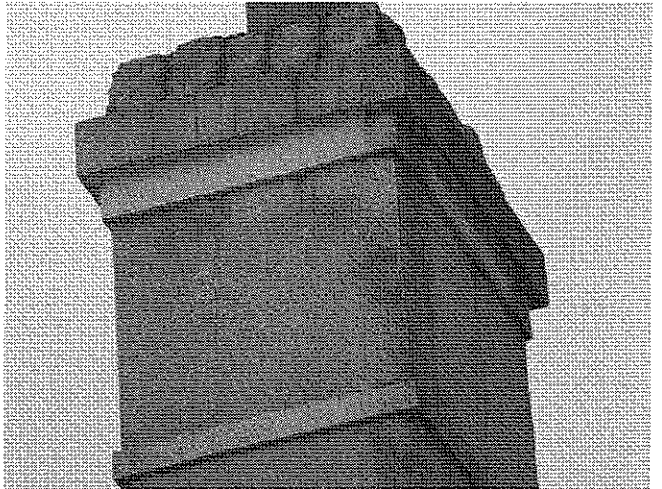
Item 1. Moisture staining around windows.



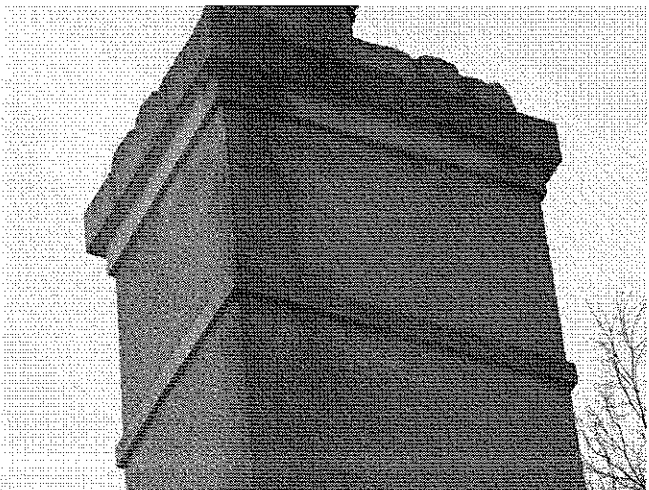
Item 1. Moisture staining around windows.



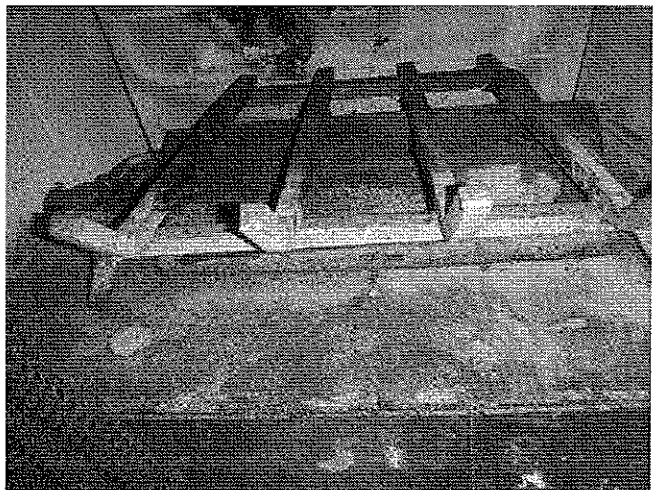
Item 1. Moisture staining around windows.



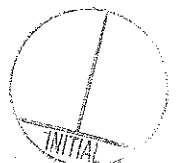
Item 1. Moisture staining around windows.

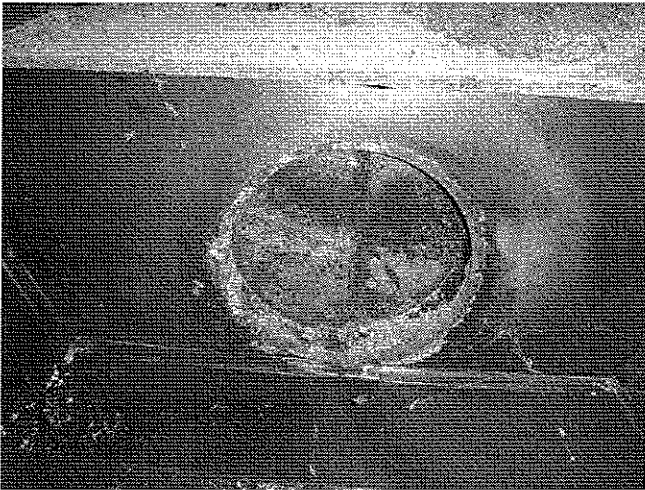


Item 1. Moisture staining around windows.



Item 6. Basement fire place firebox showing signs of issues with moisture.





Item 6. Basement fire place firebox showing signs of issues with moisture.



Item 6. Basement fire place firebox showing signs of issues with moisture.



Item 7. Areas of mold on floor joist in basemetn area.



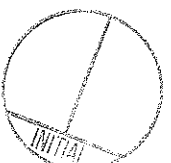
Item 7. Areas of mold on floor joist in basemetn area.

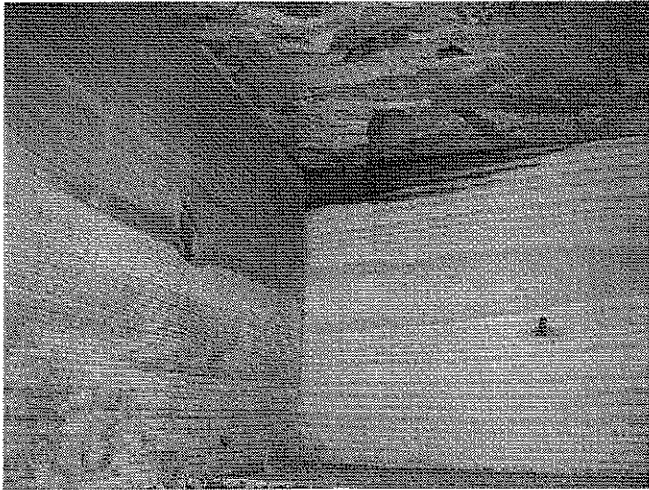


Item 7. Areas of mold on floor joist in basemetn area.



Item 10. Moisture staining on band joist under den/office window.

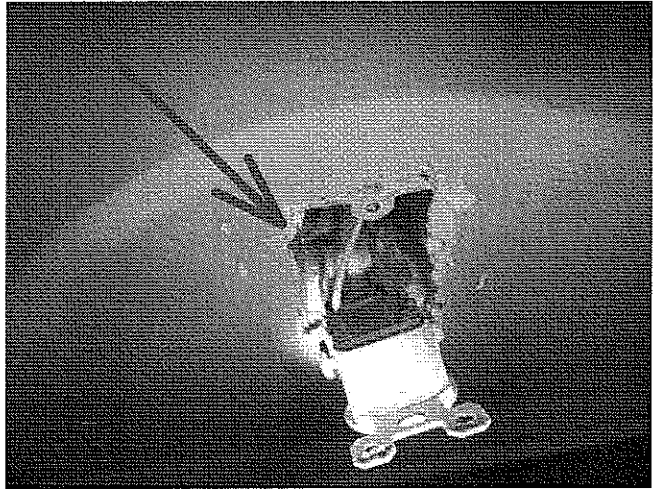




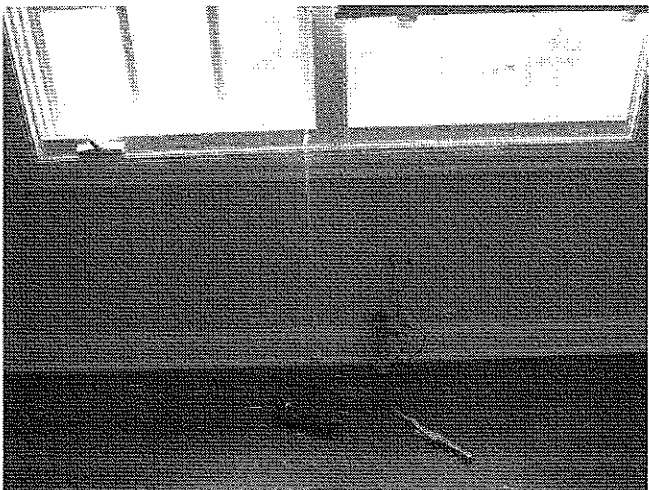
Item 10. Moisture staining on band joist under den/office window.



Item 10. Moisture staining on band joist under den/office window. 18.4%



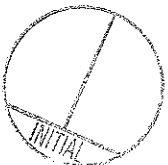
Item 10. Rust staining inside outlet under den/office window.

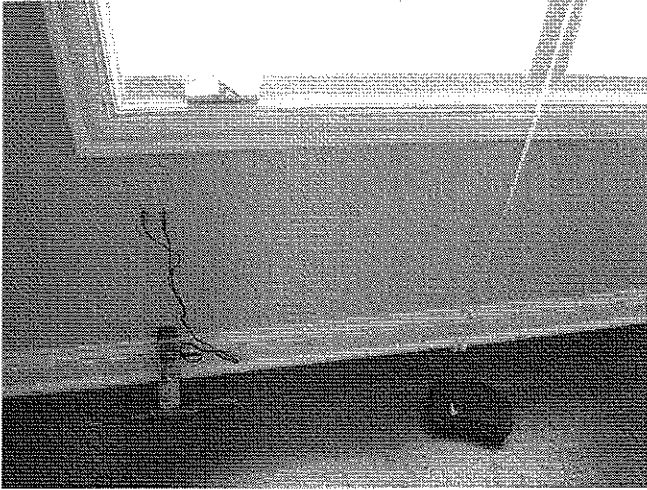


Item 11. Moisture test under master bedroom window.



Item 11. Moisture test under master bedroom window. Middle of window.

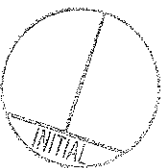




Item 11. Moisture test unde master bedroom window.



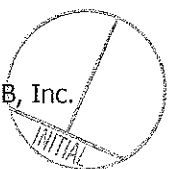
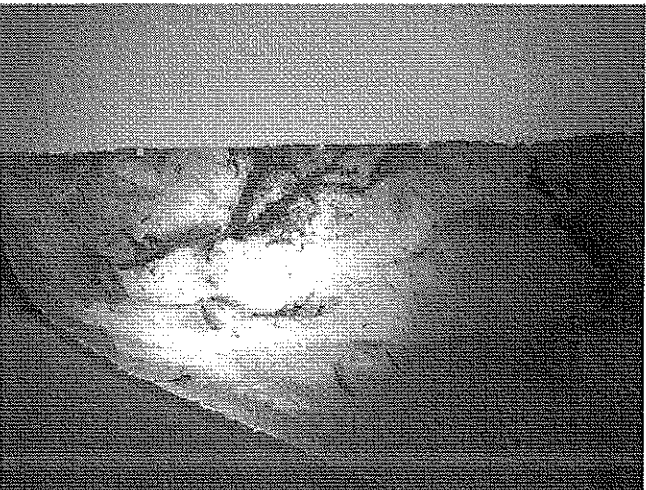
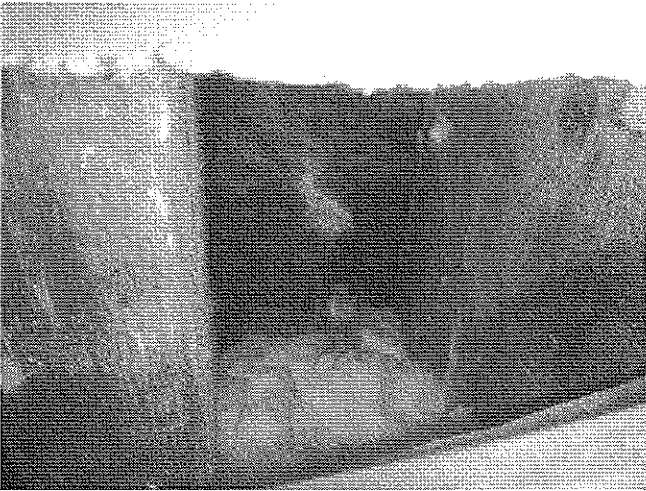
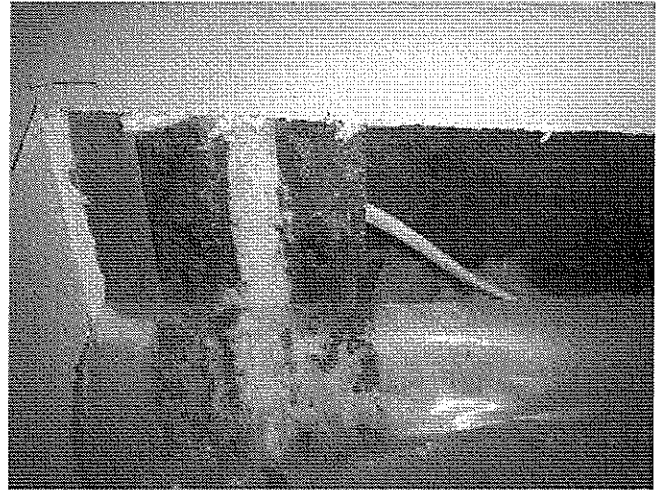
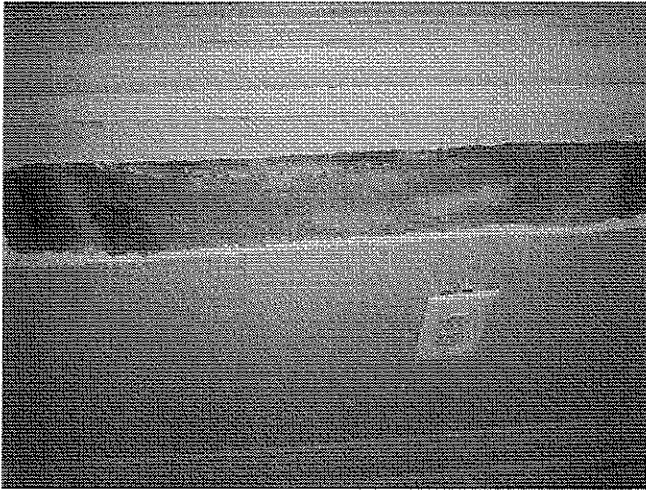
Item 11. Moisture test unde master bedroom window. End of window.



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9:45 March 11, 2013

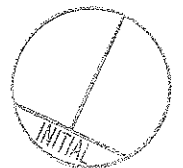
Page 1 of 2
7860 Jonell Window Issues 3.11.13.alb6



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9:45 March 11, 2013

Page 2 of 2
7860 Jonell Window Issues 3.11.13.alb6



Mold Inspection Sciences, Inc. - CO
Michael Bains
PO Box 3111
Boulder, CO 80307 USA
(303) 339-0133

Mold

Inspection Sciences



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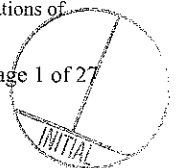
www.MoldREPORT.com

info@MoldREPORT.com

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EMLab ID: 1041813, Page 1 of 27



Client: Mold Inspection Sciences, Inc. - CO

Contact: Michael Bains

Project: Sibcy Cline Relocation - 7860 Jonell Square New Albany
Ohio

Date of Sampling: 03-22-2013

Date of Receipt: 03-25-2013

Date of Report: 03-26-2013

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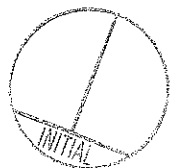
4955 Yarrow Street , Arvada, CO 80002
(800) 651-4802 Fax (623) 780-7695

Table of Contents

Thank you for choosing MoldREPORT™ from EMLab P&K. Our mission is to provide industry leadership for the assessment of mold in the home indoor environment.

Your MoldREPORT™ is designed and intended for use by professional inspectors in office and residential home inspections to help in the assessment of mold growth in the living areas sampled by professional inspectors. Our laboratory analysis is based on the samples submitted to EMLab P&K. Please read the entire report to fully understand the complete MoldREPORT™ process. The following is a summary of the report sections:

- 1. Detailed Results of Sample Analysis** - Laboratory results from the samples collected at the site.
- 2. Understanding Your Sample Analysis Results** - Detailed summary of how to understand the analytical results from the air samples and/or surface samples including interpretive guidelines.
- 3. Important Information, Terms and Conditions** - General information to help you understand and interpret your MoldREPORT™, including important terms, conditions and applicable legal provision relating to this report.
- 4. Scope and Limitations** - Important information regarding the scope of the MoldREPORT™ system, and limitations of mold inspection, air sampling, and surface sampling.
- 5. Glossary** - Definitions and descriptions of frequently used terms and commonly found mold.
- 6. References and Resources** - Literature, websites, and other materials that can provide more in-depth information about mold and indoor air quality.



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Client: Mold Inspection Sciences, Inc. - CO
 Contact: Michael Bains
 Project: Sibcy Cline Relocation - 7860 Jonell Square New Albany
 Ohio
 Date of Sampling: 03-22-2013
 Date of Receipt: 03-25-2013
 Date of Report: 03-26-2013

MoldREPORT
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Summary of Sample Analysis Results

Do not take any action based on the results of this report until you have read the entire report.

Air Sample Summary:

The MoldSCORE™ was in the LOW range for the following area(s): ST1, ST2, ST3, ST4, ST5. A low MoldSCORE™ indicates the air sample did not detect, relative to the outside air, the presence of indoor mold growth in this room at the time of sampling.

Please see the sections titled "Detailed Results of the Air Sample Analysis" and "Understanding Your Air Sample Analysis Results" for important additional information.

Location	MoldSCORE™				Exposure Level					
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	10K	Higher >70K	Location spores/m3	Outside spores/m3
ST1: Master Bedroom * see p. 5 for details	[Progress bar showing score 122]				[Progress bar showing exposure level 480]				480	213
ST2: Den * see p. 6 for details	[Progress bar showing score 122]				[Progress bar showing exposure level 420]				420	213
ST3: Kitchen * see p. 7 for details	[Progress bar showing score 145]				[Progress bar showing exposure level 910]				910	213
ST4: Dining Room * see p. 8 for details	[Progress bar showing score 121]				[Progress bar showing exposure level 213]				213	213
ST5: Unfinished Basement * see p. 9 for details	[Progress bar showing score 109]				[Progress bar showing exposure level 213]				213	213

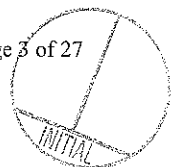
Surface Sample Summary:

The surface sample results of DE1, DE2, DE3, DE4, DE5, DE6 indicated mold growth on the surface(s) sampled at the time of sampling.

Please see the sections titled "Detailed Results of the Surface Sample Analysis", "Understanding Your Surface Sample Analysis Results", "Important Information, Terms and Conditions" and "Scope and Limitations" for additional information.

Location	Mold Growth	Dominant Types
DE1: Master Bedroom Wall Cavity * see p. 14 for details	Mold Growth	Brown hyphae with no associated spores, ID unknown.
DE2: Den Wall Cavity * see p. 15 for details	Mold Growth	Brown hyphae with no associated spores, ID unknown.
DE3: Kitchen Wall Cavity * see p. 16 for details	Mold Growth	Basidiospores Ulocladium species

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MoldREPORT

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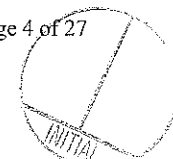
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Summary of Sample Analysis Results

DE4: Dinning Room Wall Cavity * see p. 17 for details	Mold Growth	Bispora species
DE5: Garage Wall Cavity * see p. 18 for details	Mold Growth	Bipolaris / Drechslera group
DE6: Unfinished Basement Joist * see p. 19 for details	Mold Growth	Brown hyphae with no associated spores, ID unknown.

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Detailed Results of the Air Sample Analysis

Location	Overall Mold Source Assessment* (Likelihood spores originated inside)				Overall Exposure Level (Shown on a log scale)					
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	10K	Higher >70K	Location spores/m3	Outside spores/m3
ST1: Master Bedroom	[Progress bar showing score of 122]				[Progress bar showing exposure level]				480	213

Indicators of Mold Growth Indoors

	Indicator Mold Source Assessment* (Likelihood spores originated inside)				Indicator Exposure Level (Shown on a log scale)					
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	10K	Higher >70K	Location spores/m3	Outside spores/m3
A) <i>Penicillium/Aspergillus</i> types**	[Progress bar showing score of 100]				[Progress bar showing exposure level]				< 13	< 13
B) <i>Cladosporium</i> species spores	[Progress bar showing score of 116]				[Progress bar showing exposure level]				270	110
C) Basidiospores	[Progress bar showing score of 122]				[Progress bar showing exposure level]				210	< 13
D) "Marker" spore types*** "Markers" with MoldSCORE™ > 100 (maximum of three listed): None	[Progress bar showing score of 100]				[Progress bar showing exposure level]				< 13	< 13
E) "Other" spore types****,***** "Others" with MoldSCORE™ > 100 (maximum of five listed): None	[Progress bar showing score of 100]				[Progress bar showing exposure level]				< 13	< 13

Other Sample Information

Sample clarity & visibility

	Good	Moderate	Poor
Location		X	
Outside		X	

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores

Exposure Level (Highly unlikely to be from indoors)					
Lower <200	1K	10K	Higher >70K	Location spores/m3	Outside spores/m3
[Progress bar showing exposure level]				< 13	110

	Location	Outside
Sample volume (liters)	75	75

Comments

Location	None
Outside	None

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ rating between 150 and 250 indicates a moderate likelihood of indoor fungal growth. EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

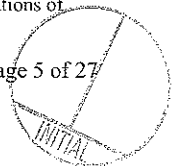
*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

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EMLab ID: 1041813, Page 5 of 27



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 (800) 651-4802 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

Location	Overall Mold Source Assessment* (Likelihood spores originated inside)				Overall Exposure Level (Shown on a log scale)			
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	Higher 10K >70K	Location spores/m3
ST2: Den	[Bar chart showing score of 122]				[Bar chart showing location 420, outside 213]			

Indicators of Mold Growth Indoors

	Indicator Mold Source Assessment* (Likelihood spores originated inside)				Indicator Exposure Level (Shown on a log scale)				
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	Higher 10K >70K	Location spores/m3	Outside spores/m3
A) <i>Penicillium/Aspergillus</i> types**	[Bar chart showing score of 100]				[Bar chart showing location <13, outside <13]				
B) <i>Cladosporium</i> species spores	[Bar chart showing score of 113]				[Bar chart showing location 210, outside 110]				
C) Basidiospores	[Bar chart showing score of 122]				[Bar chart showing location 210, outside <13]				
D) "Marker" spore types***	[Bar chart showing score of 100]				[Bar chart showing location <13, outside <13]				
"Markers" with MoldSCORE™ > 100 (maximum of three listed): None									
E) "Other" spore types****	[Bar chart showing score of 100]				[Bar chart showing location <13, outside <13]				
"Others" with MoldSCORE™ > 100 (maximum of five listed): None									

Other Sample Information

Sample clarity & visibility

	Good	Moderate	Poor
Location		X	
Outside		X	

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores

Exposure Level (Highly unlikely to be from indoors)				
Lower <200	1K	Higher 10K >70K	Location spores/m3	Outside spores/m3
[Bar chart]			< 13	110
Sample volume (liters)			75	75

Comments

Location	None
Outside	None

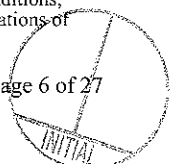
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 (800) 651-4802 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

Location	Overall Mold Source Assessment* (Likelihood spores originated inside)			Overall Exposure Level (Shown on a log scale)				
	Lower <110	200	Higher 300	Mold Score	Lower <200	Higher >70K	Location spores/m ³	Outside spores/m ³
ST3: Kitchen				145				
							910	213

Indicators of Mold Growth Indoors

Indicator	Indicator Mold Source Assessment* (Likelihood spores originated inside)			Indicator Exposure Level (Shown on a log scale)				
	Lower <110	200	Higher 300	Mold Score	Lower <200	Higher >70K	Location spores/m ³	Outside spores/m ³
A) <i>Penicillium</i> / <i>Aspergillus</i> types**				100				
							< 13	< 13
B) <i>Cladosporium</i> species spores				130				
							480	110
C) Basidiospores				145				
							430	< 13
D) "Marker" spore types***				100				
							< 13	< 13
"Markers" with MoldSCORE™ > 100 (maximum of three listed): None								
E) "Other" spore types****				100				
							< 13	< 13
"Others" with MoldSCORE™ > 100 (maximum of five listed): None								

Other Sample Information

Sample clarity & visibility

	Good	Moderate	Poor
Location		X	
Outside		X	

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 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores

Exposure Level (Highly unlikely to be from indoors)				
Lower <200	1K	10K	Higher >70K	Mold Score
				< 13

	Location	Outside
Sample volume (liters)	75	75

Comments

Location	None
Outside	None

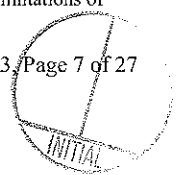
* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium*/*Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

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Client: Mold Inspection Sciences, Inc. - CO
 Contact: Michael Bains
 Project: Sibcy Cline Relocation - 7860 Jonell Square New Albany
 Ohio
 Date of Sampling: 03-22-2013
 Date of Receipt: 03-25-2013
 Date of Report: 03-26-2013

MoldREPORT
 EMLab P & K
 4955 Yarrow Street, Arvada, CO 80002
 (800) 651-4802 Fax (623) 780-7695

Detailed Results of the Air Sample Analysis

Location	Overall Mold Source Assessment* (Likelihood spores originated inside)				Overall Exposure Level (Shown on a log scale)					
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	10K	Higher >70K	Location spores/m ³	Outside spores/m ³
ST4: Dining Room	[Bar chart showing Mold Score of 121]				[Bar chart showing Exposure Level]				213	213

Indicators of Mold Growth Indoors

	Indicator Mold Source Assessment* (Likelihood spores originated inside)				Indicator Exposure Level (Shown on a log scale)					
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	10K	Higher >70K	Location spores/m ³	Outside spores/m ³
A) <i>Penicillium/Aspergillus</i> types**	[Bar chart showing Mold Score of 100]				[Bar chart showing Exposure Level]				< 13	< 13
B) <i>Cladosporium</i> species spores	[Bar chart showing Mold Score of 109]				[Bar chart showing Exposure Level]				160	110
C) Basidiospores	[Bar chart showing Mold Score of 100]				[Bar chart showing Exposure Level]				< 13	< 13
D) "Marker" spore types***	[Bar chart showing Mold Score of 100]				[Bar chart showing Exposure Level]				< 13	< 13
"Markers" with MoldSCORE™ > 100 (maximum of three listed): None										
E) "Other" spore types***, ****	[Bar chart showing Mold Score of 121]				[Bar chart showing Exposure Level]				53	< 13
"Others" with MoldSCORE™ > 100 (maximum of five listed): 1) <i>Bipolaris/Drechslera</i> group										

Other Sample Information

Sample clarity & visibility

	Good	Moderate	Poor
Location		X	
Outside		X	

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores

Exposure Level (Highly unlikely to be from indoors)					
Lower <200	1K	10K	Higher >70K	Location spores/m ³	Outside spores/m ³
[Bar chart showing Exposure Level]				< 13	110

	Location	Outside
Sample volume (liters)	75	75

Comments

Location	None
Outside	None

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

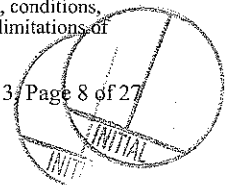
*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

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EMLab ID: 1041813 Page 8 of 27



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MoldREPORT
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Detailed Results of the Air Sample Analysis

Location	Overall Mold Source Assessment* (Likelihood spores originated inside)				Overall Exposure Level (Shown on a log scale)						
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	10K	Higher >70K	Location spores/m3	Outside spores/m3	
ST5: Unfinished Basement					109					213	213

Indicators of Mold Growth Indoors

	Indicator Mold Source Assessment* (Likelihood spores originated inside)				Indicator Exposure Level (Shown on a log scale)						
	Lower <110	200	Higher 300	Mold Score	Lower <200	1K	10K	Higher >70K	Location spores/m3	Outside spores/m3	
A) <i>Penicillium/Aspergillus</i> types**					100					< 13	< 13
B) <i>Cladosporium</i> species spores					109					160	110
C) Basidiospores					106					53	< 13
D) "Marker" spore types***					100					< 13	< 13

"Markers" with MoldSCORE™ > 100 (maximum of three listed): None

E) "Other" spore types****					100					< 13	< 13
----------------------------	--	--	--	--	-----	--	--	--	--	------	------

"Others" with MoldSCORE™ > 100 (maximum of five listed): None

Other Sample Information

Sample clarity & visibility

	Good	Moderate	Poor
Location		X	
Outside		X	

"Good" = background debris is light enough to pose no difficulty in analyzing air samples.
 "Poor" = background debris so heavy that it poses a significant difficulty in analyzing the air sample accurately. Results are most likely lower limits.

Other "normal trapping" spores

Exposure Level (Highly unlikely to be from indoors)					
Lower <200	1K	10K	Higher >70K	Location spores/m3	Outside spores/m3
				< 13	110

Sample volume (liters)	Location	Outside
	75	75

Comments

Location	None
Outside	None

* Rated on a scale from low to high. A MoldSCORE™ rating of <150 is low and indicates a low probability of spores originating inside. A MoldSCORE™ rating of >250 is high and indicates a high probability that the spores originated from inside, presumably from indoor mold growth. A MoldSCORE™ between 150 and 250 indicates a moderate likelihood of indoor fungal growth. EMLab P&K's MoldSCORE™ analysis is NOT intended for wall cavity samples. It is intended for ambient air samples in residences. Using the MoldSCORE™ analysis on other samples (like wall cavity samples) will lead to misleading results.

** The spores of *Penicillium* and *Aspergillus* (and others such as *Acremonium* and *Paecilomyces*) are small and round with very few distinguishing characteristics. They cannot be differentiated by spore trap sampling methods. Also some species with very small spores are easily missed, and may be undercounted. The *Penicillium/Aspergillus* indicator operates on the assumption that the majority of the spores in this category are, in fact, *Penicillium* or *Aspergillus*.

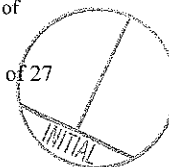
*** The spores reported in this category come from many different mold types. As a result, the mold types represented by the counts for the "Location" sample may be different than the mold types represented by the counts for the outside sample.

**** The spores of smuts, *Periconia*, and myxomycetes look similar and cannot generally be distinguished by spore trap analysis. Smuts are plant pathogens and are not likely to be on indoor surfaces. *Periconia* is rarely found growing indoors. However, myxomycetes, the spores of which look similar, can occasionally grow indoors. Because there is a small probability of indoor sources, these spore types are indicated in the "other" spore types category. False positives may result if the spores are smuts, not myxomycetes.

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EMLab ID: 1041813, Page 9 of 27



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MoldREPORT
EMLab P & K
4955 Yarrow Street, Arvada, CO 80002
(800) 651-4802 Fax (623) 780-7695

Understanding Your Air Sample Analysis Results

Description of the Air MoldREPORT™ Analysis

Mold spores are present in virtually all environments, both indoors and outdoors, with a few notable exceptions such as industrial clean rooms and hospital organ transplant rooms. Generally, in "normal" or "clean" indoor environments, indoor spore levels are lower, on average, than outdoor levels. However, even the most simple rules (such as "inside/outside" ratios) are not always appropriate for determining whether there is a source of mold growth indoors, and may provide false or misleading results. One reason these simple methods do not always work is because both outdoor and indoor spores levels vary widely due to factors such as weather conditions and activity levels within the room. For example, even in a "normal" home, spore levels can be higher than outdoors at certain times, such as after vacuuming (when airborne indoor levels could be unusually high) or after a heavy snow (when outdoor levels could be unusually low).

MoldREPORT™ is designed and intended to provide an easily understood report for residential home inspections to help in the assessment of mold growth in the living areas sampled. MoldREPORT™ relies on non-invasive and non-destructive tests, so it cannot guarantee that hidden mold problems will be detected and reported. MoldREPORT™ results apply only to the rooms or areas tested, at the time of sampling. Factors taken into consideration include, but are not limited to, the distribution of spore types, absolute levels inside and outside, relative levels inside and outside, the range and variation of spore levels that normally occur outside, and the types of spores present.

Providing you with a helpful, understandable and top quality interpretation requires special expertise. EMLab P&K recognizes this and has taken the following steps to provide the best possible interpretation of your air sampling results.

1. Your samples were analyzed by EMLab P&K,
2. We utilize the proprietary MoldREPORT™ analysis system, which was developed by a team including leading professionals in the indoor air quality (IAQ) industry.

MoldSCORE™

The MoldSCORE™ indicates the likelihood, based upon the air sample laboratory data, that there is unusual or excessive mold growth in the properly sampled indoor area(s). It is calculated using EMLab P&K's proprietary MoldREPORT™ system, based upon the indicator scores described in the following paragraphs. When the on-site inspection and sampling are done properly, MoldREPORT™ is less likely to give false results than other, simpler methods of interpretation often employed for routine home inspections, such as ratio analysis. It is important to bear in mind that any analytical method, findings, and interpretation should be used with a degree of caution and common sense. Any decisions related to health should be made in consultation with a medical doctor, and nothing in this report is intended to provide medical advice or indicate whether a medical or safety problem exists.

Descriptions of the indicators:

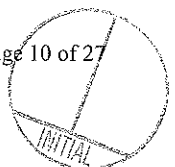
Quantity and concentration of *Penicillium*/*Aspergillus* spore types

This score indicates the likelihood that spores of *Penicillium* or *Aspergillus* present in the indoor sample originated from indoor sources. A high score suggests that there is a high probability that *Penicillium* or *Aspergillus* is originating indoors, such as from active mold growth. A low score indicates that the spores present are more likely to have originated from outdoor sources and come inside through doors and windows, carried in on people's clothing, or similar methods. *Penicillium* and *Aspergillus* are among the most common molds found growing indoors and are one of the more commonly found molds outside as well. Their spores are frequently present in both outdoor and indoor air, even in relatively clean, mold-growth-free, indoor environments. Additionally, their levels vary significantly based upon activity levels, dustiness, weather conditions, outside air exchange rates, and other factors.

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EMLab ID: 1041813, Page 10 of 27



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Understanding Your Air Sample Analysis Results (continued)

Quantity and concentration of *Cladosporium* spores

This score indicates the likelihood that spores of *Cladosporium* present in the indoor sample originated from indoor sources. A high rating indicates that there is probably a source of *Cladosporium* spores in this location. *Cladosporium* is one of the most commonly found molds outdoors and is also frequently found growing indoors. Even more so than *Penicillium* and *Aspergillus*, spores from *Cladosporium* are generally present in outdoor and indoor air, even in relatively clean, mold-growth-free, indoor environments. Its levels also vary based upon activity levels, weather conditions, dustiness, outside air exchange rates, and other factors.

Quantity and concentration of basidiospores

This score indicates the likelihood that basidiospores present in the indoor sample originated from indoor sources. Basidiospores are extremely common outdoors and originate from fungi in gardens, forests, and woodlands. It is rare for the source of basidiospores to be indoors because basidiospores are produced by a group of fungi that includes mushrooms and other "macrofungi" (and are not technically molds). Their concentrations can be extremely high outdoors during wet conditions such as rain. Nevertheless, in certain conditions basidiospores can be produced indoors, and a high rating indicates that there is probably a source of basidiospores indoors. One reason basidiospores are important is that they can be an indicator of wood decay (e.g. "dry rot"), a condition that can dramatically reduce the structural integrity of a building.

Quantity and concentration of "marker" spore types

This score indicates the likelihood that certain distinctive types of mold present in the indoor sample originated from indoor sources. Certain types of mold are generally found in very low numbers outdoors. Consequently, their presence indoors, even in relatively low numbers compared to *Penicillium*, for example, is often an indication that these molds are originating from growth indoors. When present, these mold types are often the clearest indicator of a mold problem. Note, however, that the absence of marker spore types does not mean that a mold problem does not exist in a house; it just means that if a problem is present, it either involves types of mold that are more commonly found both indoors and outdoors, or that the spores from these molds were not airborne at the time of sampling.

Quantity and concentration of "other" spore types

This score indicates the likelihood that other types of mold present in the indoor sample originated from indoor sources. This score includes a heterogeneous group of genera that are not covered by any of the scores discussed above, and so it is difficult to make generalizations about this group. Molds in the "other" category are generally found outdoors in moderate numbers, and are therefore not considered markers of indoor growth. They are frequently found indoors but in lower numbers compared to *Cladosporium* and *Penicillium/Aspergillus* spores.

Other Sample Information:

Sample clarity and visibility

Air samples collect dirt and debris in addition to mold spores. Higher levels of debris make analysis more difficult, because they obscure the analyst's view of spores and can therefore lead to undercounting of the mold spores present. When sample clarity and visibility is rated "poor", the analytical results should be regarded as minimal and actual counts may be higher than reported.

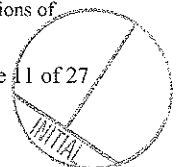
Other "normal trapping" spores

Some molds do not grow on wet building materials and, consequently, are not usually indicative of building problems, or growth on building surfaces. Strict plant pathogens, for example, even if present in high numbers indoors, are not an indication of a building leak or mold growth on a wall or carpet. This section of the report focuses on the exposure level that may be due to these spore types.

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EMLab ID: 1041813, Page 11 of 27



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Understanding Your Air Sample Analysis Results (continued)

Sample volume

The "sample volume" indicates the volume of air sampled and is reported in liters. A high volume indicates a greater sensitivity, but is more likely to result in poor sample clarity and visibility. A low volume is more likely to have good sample clarity and visibility, but has less sensitivity.

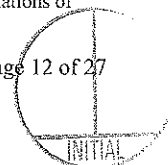
Comments

This is where analysts can comment on unusual details or add additional information that is not captured by the other areas of the air sampling report.

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EMLab ID: 1041813, Page 12 of 27



Client: Mold Inspection Sciences, Inc. - CO

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Project: Sibcy Cline Relocation - 7860 Jonell Square New Albany Ohio

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MoldREPORT

EMLab P & K

4955 Yarrow Street , Arvada, CO 80002

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Interpretive Guidelines to MoldSCORE™ Levels

MoldSCORE™ Level: LOW

A low MoldSCORE™ indicates the air sample did not detect, relative to the outside air, the presence of indoor mold growth in this room at the time of sampling. This result, by itself, is evidence for, but does not prove, the absence of indoor mold growth in the location sampled.

Mold is a living organism that can grow very rapidly under certain conditions. If any portion of the room tested is, or has been, damp for an extended period since the time of testing, the likelihood of mold growth may have increased substantially since the time of the inspection.

MoldSCORE™ Level: MODERATE

The air sampling MoldSCORE™ indicated the possibility of mold growth indoors. Generally, a MODERATE level means that the results are inconclusive, and suggests that a more detailed inspection may make sense if there are any other reasons to believe that mold growth could be a problem in this location. Indoor mold growth is a possibility, but was not confirmed in the areas sampled at the time of the inspection. Factors such as recent cleaning, HVAC cycles, high winds, rain, or other indoor or outdoor conditions could have contributed to a MODERATE result in the absence of indoor mold growth. If mold growth is found, regardless of the magnitude of the growth, it is recommended that the growth be physically removed using appropriate controls and precautions. If mold has been located and removed, it is also important to identify and correct the source of moisture or dampness that allowed the mold to grow. If the affected area becomes moist again, mold growth will occur again. We recommend that you consult a professional if you are not familiar with how to locate and safely remove mold growth or how to identify and correct moisture problems that may exist.

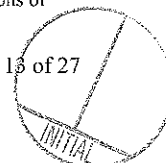
Mold is a living organism that can grow very rapidly under certain conditions. If any portion of the room tested is, or has been, damp for an extended period since the time of testing, the likelihood of mold growth may have increased substantially since the time of the inspection.

MoldSCORE™ Level: HIGH

The air sampling MoldSCORE™ indicated a high likelihood of mold growth in the area tested at the time of the inspection. This result is NOT necessarily an indication that any such mold growth was extensive. If mold growth is found, regardless of the magnitude of the growth, it is recommended that the growth be physically removed using appropriate controls and precautions. If mold has been located and removed, it is also important to identify and correct the source of moisture or dampness that allowed the mold to grow. If the affected area becomes moist again, mold growth will occur again. We recommend that you consult a professional if you are not familiar with how to locate and safely remove mold growth or how to identify and correct moisture problems that may exist.

Health concerns

Neither this report nor any MoldSCORE™ rating is intended to provide medical advice, nor shall it be interpreted as an indicator of potential medical or safety problems. If you have concerns or questions relating to your health, please contact your physician for advice.



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MoldREPORT
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Detailed Results of Surface Sample Analysis

Location:	DE1: Master Bedroom Wall Cavity
Sample Type:	Swab sample

Mold growth present*: Low=small amounts of mold growth present High=large amounts of mold growth present	No growth found	Low			High
Acremonium species					
Alternaria species					
Aspergillus species					
Aureobasidium species					
Brown hyphae with no associated spores, ID unknown.					
Chaetomium species					
Cladosporium species					
Penicillium species					
Stachybotrys species					
Trichoderma species					
Ulocladium species					

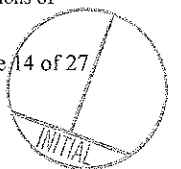
Miscellaneous spores present: Indicative of normal conditions**	Very few
--	----------

Background debris:	Moderate
--------------------	----------

Other comments:	None
-----------------	------

* Quantities of molds seen growing are graded Low to High with High denoting the highest numbers.

** Indicative of normal conditions, i.e. seen on surfaces everywhere. Includes basidiospores (mushroom spores), myxomycetes, plant pathogens such as ascospores, rusts and smuts, and a mix of saprophytic genera with no particular spore type predominating. Distribution of spore types seen mirrors that usually seen outdoors.



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Detailed Results of Surface Sample Analysis

Location:	DE2: Den Wall Cavity
Sample Type:	Swab sample

Mold growth present*: Low=small amounts of mold growth present High=large amounts of mold growth present	No growth found	Low			High
Acremonium species					
Alternaria species					
Aspergillus species					
Aureobasidium species					
Brown hyphae with no associated spores, ID unknown.					
Chaetomium species					
Cladosporium species					
Penicillium species					
Stachybotrys species					
Trichoderma species					
Ulocladium species					

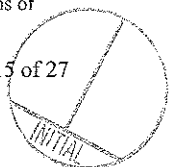
Miscellaneous spores present: Indicative of normal conditions**	Very few
--	----------

Background debris:	Moderate
--------------------	----------

Other comments:	None
-----------------	------

* Quantities of molds seen growing are graded Low to High with High denoting the highest numbers.

** Indicative of normal conditions, i.e. seen on surfaces everywhere. Includes basidiospores (mushroom spores), myxomycetes, plant pathogens such as ascospores, rusts and smuts, and a mix of saprophytic genera with no particular spore type predominating. Distribution of spore types seen mirrors that usually seen outdoors.



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Detailed Results of Surface Sample Analysis

Location:	DE3: Kitchen Wall Cavity
Sample Type:	Swab sample

Mold growth present*: Low=small amounts of mold growth present High=large amounts of mold growth present	No growth found	Low			High
Acremonium species					
Alternaria species					
Aspergillus species					
Aureobasidium species					
Basidiospores					
Chaetomium species					
Cladosporium species					
Penicillium species					
Stachybotrys species					
Trichoderma species					
Ulocladium species					

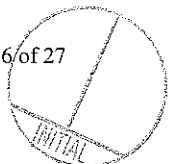
Miscellaneous spores present: Indicative of normal conditions**	Very few
--	----------

Background debris:	Moderate
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Other comments:	None
-----------------	------

* Quantities of molds seen growing are graded Low to High with High denoting the highest numbers.

** Indicative of normal conditions, i.e. seen on surfaces everywhere. Includes basidiospores (mushroom spores), myxomycetes, plant pathogens such as ascospores, rusts and smuts, and a mix of saprophytic genera with no particular spore type predominating. Distribution of spore types seen mirrors that usually seen outdoors.



Client: Mold Inspection Sciences, Inc. - CO
 Contact: Michael Baihs
 Project: Sibcy Cline Relocation - 7860 Jonell Square New Albany Ohio
 Date of Sampling: 03-22-2013
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 Date of Report: 03-26-2013

MoldREPORT
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 (800) 651-4802 Fax (623) 780-7695

Detailed Results of Surface Sample Analysis

Location:	DE4: Dinning Room Wall Cavity
Sample Type:	Swab sample

Mold growth present*: Low=small amounts of mold growth present High=large amounts of mold growth present	No growth found	Low			High
Acremonium species					
Alternaria species					
Aspergillus species					
Aureobasidium species					
Bispora species					
Chaetomium species					
Cladosporium species					
Penicillium species					
Stachybotrys species					
Trichoderma species					
Ulocladium species					

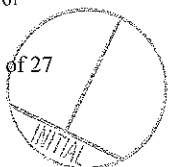
Miscellaneous spores present: Indicative of normal conditions**	Very few
--	----------

Background debris:	Moderate
--------------------	----------

Other comments:	None
-----------------	------

* Quantities of molds seen growing are graded Low to High with High denoting the highest numbers.

** Indicative of normal conditions, i.e. seen on surfaces everywhere. Includes basidiospores (mushroom spores), myxomycetes, plant pathogens such as ascospores, rusts and smuts, and a mix of saprophytic genera with no particular spore type predominating. Distribution of spore types seen mirrors that usually seen outdoors.



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 Contact: Michael Bains
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Detailed Results of Surface Sample Analysis

Location:	DE5: Garage Wall Cavity
Sample Type:	Swab sample

Mold growth present*: Low=small amounts of mold growth present High=large amounts of mold growth present	No growth found	Low			High
Acremonium species					
Alternaria species					
Aspergillus species					
Aureobasidium species					
Bipolaris / Drechslera group					
Chaetomium species					
Cladosporium species					
Penicillium species					
Stachybotrys species					
Trichoderma species					
Ulocladium species					

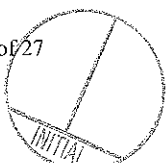
Miscellaneous spores present: Indicative of normal conditions**	Very few
--	----------

Background debris:	Moderate
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Other comments:	None
-----------------	------

* Quantities of molds seen growing are graded Low to High with High denoting the highest numbers.

** Indicative of normal conditions, i.e. seen on surfaces everywhere. Includes basidiospores (mushroom spores), myxomycetes, plant pathogens such as ascospores, rusts and smuts, and a mix of saprophytic genera with no particular spore type predominating. Distribution of spore types seen mirrors that usually seen outdoors.



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Detailed Results of Surface Sample Analysis

Location:	DE6: Unfinished Basement Joist
Sample Type:	Swab sample

Mold growth present*: Low=small amounts of mold growth present High=large amounts of mold growth present	No growth found	Low			High
Acremonium species					
Alternaria species					
Aspergillus species					
Aureobasidium species					
Brown hyphae with no associated spores, ID unknown.					
Chaetomium species					
Cladosporium species					
Penicillium species					
Stachybotrys species					
Trichoderma species					
Ulocladium species					

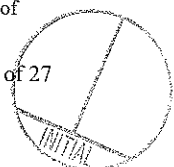
Miscellaneous spores present: Indicative of normal conditions**	Very few
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Background debris:	Light
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Other comments:	None
-----------------	------

* Quantities of molds seen growing are graded Low to High with High denoting the highest numbers.

** Indicative of normal conditions, i.e. seen on surfaces everywhere. Includes basidiospores (mushroom spores), myxomycetes, plant pathogens such as ascospores, rusts and smuts, and a mix of saprophytic genera with no particular spore type predominating. Distribution of spore types seen mirrors that usually seen outdoors.



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Understanding Your Surface Sample Analysis Results

Analysis by direct microscopic examination

Each surface sample was analyzed by direct microscopic examination. This method of analysis is an effective means of determining whether or not mold is growing on the surface sampled, and if so, what kinds of molds are present. A direct microscopic examination, in the absence of evidence of growth on the surface sampled, may also occasionally pick up indications of mold growth in the vicinity based upon the mix of spore types present in the sample. Most surfaces collect a mix of spores that are normally present in the environment. At times it is possible to note a skewing of the normal distribution of spore types, and also to note marker genera that may indicate indoor mold growth. Note that locating an area of mold growth indoors using surface samples does not provide information regarding airborne spore levels.

Mold growth present

Samples are examined for the presence of mold growth, as indicated by groups, clumps, and/or chains of single spore types, usually accompanied by intact mycelial and/or sporulating structures. These areas of growth are then identified to genus name, if possible. Quantities are estimated and are graded on a scale from "Low" to "High," with "High" denoting the highest amount.

If mold growth is found, regardless of the magnitude of the growth, it is recommended that the growth be physically removed using appropriate controls and precautions. If mold has been located and removed, it is also important to identify and correct the source of moisture or dampness that allowed the mold to grow. If the affected area becomes moist again, mold growth will occur again. We recommend that you consult a professional if you are not familiar with how to locate and safely remove mold growth or how to identify and correct moisture problems that may exist.

Miscellaneous spores present

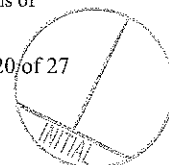
This is a measure of the mix of spores that are present and are indicative of normal conditions, in other words, seen normally on surfaces almost everywhere. This includes basidiospores (mushroom spores), myxomycetes ("slime molds"), plant pathogens such as rusts and smuts, and a mix of saprobic mold with no particular spore type predominating. The distribution of these spore types resembles that seen outdoors.

Background debris

Background debris is an indication of the amounts of non-biological particulate matter present. This background material is graded and described as light, medium, heavy, or very heavy. Very heavy background debris may obscure visibility for the analyst. Bulk samples are not graded in this category.

Other comments

Additional relevant information is provided, such as the presence of marker genera or the abnormal distribution of spore types. Bacteria may be noted, as well as significant numbers of other biological particles such as algae, lichen, dust mites, etc. In addition, when deemed to be helpful, non-biological particles are also described.



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Important Information, Terms and Conditions Relating to your MoldREPORT™

The study and understanding of molds is a progressing science. Because different methods of sampling, collection and analysis exist within the indoor air quality industry, different inspectors or analysts may not always agree on the mold concentrations present in a given environment. Additionally, the airborne levels of mold change frequently and by large amounts due to many factors including activity levels, weather, air exchange rates (indoors), and disturbance of growth sites. It is possible for report interpretations and ranges of accuracy to vary since comprehensive, generally accepted industry standards do not currently exist for indoor air quality inspections of mold in residential indoor environments. MoldREPORT™ is intended to provide an analysis based upon samples taken at the site at the time of the inspection. Mold levels can and do change rapidly, especially if home building materials or contents remain wet for more than 24 hours, or if they are wet frequently. MoldREPORT™ is not intended to provide medical or healthcare advice. All allergy or medical-related questions and concerns, including health concerns relating to possible mold exposure, should be directed to a qualified physician. If this report indicates scores that are higher than in typical indoor living spaces relative to the outdoor environment, or indicates any findings that are of concern to you, further evaluation by a trained mold professional or a Certified Industrial Hygienist (CIH) may be advisable.

Warranties, legal disclaimers and limitations

MoldREPORT™ is designed and intended for use only in residential home inspections to help in the assessment of mold growth in the living areas sampled. Our laboratory analysis and report are based on the samples submitted to EMLab P&K. The inspection(s) and sampling should be performed only by a licensed and professional home inspector, environmental mold specialist, industrial hygienist or residential appraiser trained and qualified to conduct mold inspections in residential buildings. Client agrees to these conditions for the on-site project inspection.

This MoldREPORT™ is generated by EMLab P&K at the request of, and for the exclusive use of, the EMLab P&K client named on this report. The analysis of the test samples is performed by EMLab P&K. EMLab P&K's policy is that reports and test results will not be released to any third party without prior written consent from EMLab P&K's client. This report applies only to the samples taken at the time, place and location referenced in the report and received by EMLab P&K, and to the property and weather conditions existing at that time only. Please be aware, however, that property conditions, inspection findings and laboratory results can and do change over time relative to the original sampling due to changing conditions, the normal fluctuation of airborne mold, and many other factors. Client and reader are advised that EMLab P&K does not furnish, and has no responsibility for, the inspector or inspection service that performs the inspection or collects the test samples. It is the responsibility of the end-user of this report to select a properly trained professional to conduct the inspection and collect appropriate samples for analysis and interpretation by MoldREPORT™. None of EMLab P&K, EMLab P&K or their affiliates, subsidiaries, suppliers, employees, agents, contractors and attorneys (each an "EMLab P&K-related party") are able to make and do not make any determinations as to the safety or health condition of a property in this report. The client and client's customer are solely responsible for the use of, and any determinations made from, this report, and no EMLab P&K-related party shall have any liability with respect to decisions or recommendations made or actions taken by either the client or the client's customer based on the report.

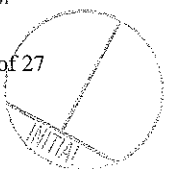
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MoldREPORT

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Scope and Limitations of Report and Analysis

The scope of the MoldREPORT™ system is limited to EMLab P&K's proprietary MoldSCORE™ analysis of the air and surface samples taken at the time of the inspection. EMLab P&K cannot be liable, in any form of action, for any items that are not included within the scope of the MoldREPORT™ system.

MoldREPORT™ Inspection Limitations

MoldREPORT™ results are based upon mold air and surface samples. Mold surface samples are useful for confirming and identifying mold growth while air samples measure airborne mold levels.

This report provided by EMLab P&K is based upon the assumption that the information provided by the inspector is true and correct, that a sufficient number of mold and air samples were collected at all the appropriate locations following proper inspection and sampling protocols, and that the mold samples collected represent normal conditions at the site sampled. EMLab P&K is not able to, and cannot, guarantee the skill level or experience of the inspector performing the MoldREPORT™ inspection, nor can it guarantee that the samples have been properly collected at the site or are representative of normal conditions since many factors outside of EMLab P&K's (and the inspector's) control can and do substantially affect mold levels. Consequently, EMLab P&K cannot guarantee the accuracy of the interpretation provided herein. It is the responsibility of the inspector to insure that the mold samples were collected properly. MoldREPORT™ relies on non-invasive and non-destructive tests, so it cannot guarantee that hidden mold problems will be detected and reported. MoldREPORT™ results apply only to the rooms sampled, not to the entire building or any other rooms. It is the responsibility of the property owner, potential purchaser or other end-user of this report to select a properly trained and qualified inspector.

About Air Sample Sampling and Analysis

EMLab P&K requires at least one outdoor air sample and one indoor air sample in order to make indoor/outdoor comparisons and assessments of airborne mold levels, which are an integral part of the EMLab P&K MoldREPORT™ system. The indoor air samples taken can be representative of the airborne mold present in the area sampled. The analysis and interpretation of these air samples is proprietary and is based upon: relative levels of spores present, quantities and concentration of *Penicillium/Aspergillus* type spores, quantity and concentration of *Cladosporium* spores, quantity and concentration of basidiospores, quantity and concentration of "marker" spore types, quantity and concentration of "other" spore types, and the distribution of mold spore types. Spore identification is performed visually by trained analysts according to industry norms. Using visual identification, most mold spores lack sufficient distinguishing characteristics to allow for species identification, so the MoldREPORT™ analysis is generally performed at the genus level. Currently there are no generally-accepted protocols or regulations regarding air sampling for molds, in large part due to the inability of any single technique to provide a complete analysis of all mold spores and mold growth in an area. Air sampling for MoldREPORT™ can be performed using any standard "spore trap" method, which are also called "non-viable air sampling methods" because spore traps do not require the germination and growth of the spores before identification. Commonly used spore trap equipment for performing air sampling for mold includes Zefon Air-O-Cell™ Cassettes, Burkard™ samplers, and Allergenco™ samplers.

About Surface Sampling and Analysis

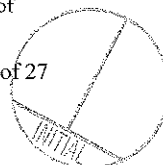
Surface sampling can be useful for differentiating between mold growth and stains, for identifying the type of mold growth present (if present), and, in some cases, identifying signs of mold growth in the vicinity. Although not required, surface sampling can improve the accuracy of the results and interpretation of the inspected environment if sampled correctly. EMLab P&K accepts surface samples in the form of swabs, tapes, or bulks in order to perform a direct examination of a specific location. The MoldREPORT™ analysis system uses the direct examination data in addition to the MoldREPORT™ air sample analysis.

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EMLab ID: 1041813, Page 22 of 27



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Glossary

Background Debris - Material(s) found on the air sample other than mold spore(s) or mycelia. Examples include skin cells, insect parts, and fibers.

False Positive - A test result that incorrectly indicates mold growth, when in reality there is none. For example, an air sample test result indicating indoor mold growth, when no mold growth is actually present is a "False Positive."

False Negative - A test result that shows no mold growth, when in reality mold growth is present. For example, an air sample test result indicating no indoor mold growth, when mold growth is actually present.

Fungi - A kingdom that includes yeasts, molds, smuts, and mushrooms. Fungi are not animals, plants or bacteria, but their own kingdom.

HVAC - Heating, Ventilation, and Air Conditioning (HVAC) systems are possible reservoirs for mold growth.

IAQ - Indoor Air Quality (IAQ) is the main focus of EMLab P&K and the majority of its customers.

Industrial Hygienist - A professional who monitors exposure to environmental factors that can affect human health. Examples of environmental factors include chemicals, heat, asbestos, noise, radiation, and biological hazards.

Marker Spores - Spore types, such as *Chaetomium* and *Stachybotrys*, that when found indoors, even in moderate numbers are an indication of indoor mold growth.

Note: This glossary is intended to provide general information about commonly occurring molds, and is not intended to be a complete source.

Alternaria:

Distribution: *Alternaria* is one of the most common molds and is abundant worldwide. This genus contains around 40 to 50 different species, only a few of which are commonly found indoors.

How it is spread: *Alternaria* spores are easily dispersed through the air by wind.

Where it is found outdoors: *Alternaria* is common outdoors in soil, dead organic debris, foodstuffs, and textiles. It is also a plant pathogen and is frequently found on dead or weakened plants.

Where it is found indoors: *Alternaria* can grow on a variety of substrates indoors when moisture is present.

Acremonium:

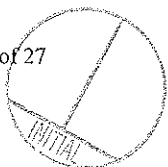
Distribution: *Acremonium* is a common mold, including about 80 to 90 different species.

How it is spread: *Acremonium* produces wet slimy spores and is normally dispersed through water flow or droplets, or by insects. Old dry *Acremonium* spores can sometimes be dispersed through the air by wind.

Where it is found outdoors: *Acremonium* is found in soil, on dead organic material and debris, hay, and foodstuffs.

Where it is found indoors: *Acremonium* can be found anywhere indoors, but requires very wet conditions in order to proliferate. The spores probably require active disturbance for release.

Aspergillus: (see *Penicillium/Aspergillus*)



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Glossary (continued)

Basidiospores:

Distribution: Basidiospores are produced by a very large and diverse group of fungi called basidiomycetes, which contains over 1000 different genera. This group includes many well-known macrofungi, such as mushrooms. Basidiospores are often abundant in outdoor air and sometimes in indoor air.

How they are spread: Many types of basidiospores are actively released into the air during periods of high humidity or rain. Once the spores are expelled into the air, they are dispersed easily by wind.

Where they are found outdoors: Basidiomycetes are very common outdoors and can be found in gardens, forests, grasslands, and anywhere there is a substantial amount of dead organic material. They are also found on or near plants and some are known to be plant pathogens.

Where they are found indoors: Basidiospores found indoors typically come from outdoor sources and are carried inside by airflow or on clothing. Certain kinds of basidiomycetes can grow indoors, such as those that cause "dry rot", which can cause structural damage to wood. Occasionally, other basidiomycetes such as mushrooms can be found indoors, but this is not common. Generally, basidiomycetes require wet conditions for prolonged periods in order to grow indoors.

Bipolaris / Dreschlera:

Distribution: *Bipolaris* and *Dreschlera* are two separate genera of molds that are so visually similar that they are commonly discussed together as a group. Both genera include around 30 - 40 different species.

How they are spread: *Bipolaris / Dreschlera* spores are easily dispersed through the air by wind.

Where they are found outdoors: *Bipolaris / Dreschlera* type spores are most abundant in tropical or subtropical climates. They can grow in soils, on plant debris and grasses, and are known to be plant pathogens.

Where they are found indoors: *Bipolaris / Dreschlera* can grow on a variety of indoor substrates when moisture is present.

Ceratocystis / Ophiostoma:

Distribution: *Ceratocystis / Ophiostoma* are two separate genera of molds that are so visually similar that they are commonly discussed together as a group. These genera contain around 50 to 60 different species.

How they are spread: *Ceratocystis / Ophiostoma* produce wet slimy spores and are normally dispersed through water flow, droplets, or by insects. These spores are rarely identified in air samples.

Where they are found outdoors: *Ceratocystis / Ophiostoma* are very common in commercial lumberyards and forests.

Where they are found indoors: *Ceratocystis / Ophiostoma* are abundant on wood framing material in the home, although the spores are rarely found in air samples. This mold is sometimes called "lumber mold".

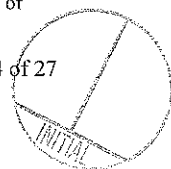
Chaetomium:

Distribution: *Chaetomium* is a common mold worldwide. This genus contains around 80 - 90 different species.

How it is spread: *Chaetomium* spores are formed inside fruiting bodies. The spores are released by being forced out through a small opening in the fruiting body. The spores are then dispersed by wind, water drops, or insects.

Where it is found outdoors: *Chaetomium* can be found in soil, on various seeds, cellulose substrates, dung, woody materials and straw.

Where it is found indoors: *Chaetomium* can grow in a variety of areas indoors, but is usually found on cellulose-based or woody materials in the home. It is very common on sheetrock paper that is or has been wet.



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Glossary (continued)

Cladosporium:

Distribution: *Cladosporium* is an abundant mold worldwide and is normally one of the most abundant spore types present in both indoor or outdoor air samples. This genus contains around 20 - 30 different species.

How it is spread: *Cladosporium* produces dry spores that are formed in branching chains. Spores are released by twisting of the spore-bearing hyphae as they dry. Thus, the spores are most abundant in dry weather.

Where it is found outdoors: *Cladosporium* is found in a wide variety of soils, in plant litter, and on old and decaying plants and leaves. Some species are plant pathogens

Where it is found indoors: *Cladosporium* can be found anywhere indoors, including textiles, bathroom tiles, wood, moist windowsills, and any wet areas in a home. Some species of *Cladosporium* grow at temperatures near or below 0(C) / 32(F) and can often be found on refrigerated foodstuffs and even frozen meat.

Curvularia:

Distribution: *Curvularia* is a cosmopolitan fungus and includes approximately 30 different species.

How it is spread: *Curvularia* produces dry spores that are formed in fragile chains and is very easily dispersed through the air by wind.

Where it is found outdoors: *Curvularia* is most common in tropical or subtropical regions. It is found in soil and on debris of tropical plants.

Where it is found indoors: *Curvularia* can be found growing on a variety of substrates indoors.

Epicoccum:

Distribution: *Epicoccum* is a cosmopolitan mold that includes only two species.

How it is spread: *Epicoccum* produces large dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Epicoccum* can be found in soils or on plant debris.

Where it is found indoors: *Epicoccum* is commonly found on many different substrates indoors including paper, textiles, and insects.

Memmoniella:

Distribution: *Memmoniella* is a cosmopolitan mold genus that includes approximately five species. It is frequently found in conjunction with *Stachybotrys* species due to its similar ecological preferences.

How it is spread: *Memmoniella* produces dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Memmoniella* can be found outdoors in soil, in plant debris or litter, and as pathogens on some types of living plants.

Where it is found indoors: *Memmoniella* can grow on a variety of substrates indoors, but mainly can be found on wet cellulose-based materials, such as wallboard, jute, wicker, straw baskets, paper and other wood by-products.

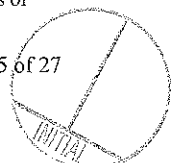
Paecilomyces:

Distribution: *Paecilomyces* is ubiquitous in nature and includes between 9 and 30 different species, depending on the taxonomic system used. Its spores are visually similar to *Penicillium* / *Aspergillus* types of spores.

How it is spread: *Paecilomyces* produce dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Paecilomyces* is found outdoors in soils and decaying plant matter, composting processes, legumes and cottonseeds. Some species parasitize insects.

Where it is found indoors: *Paecilomyces* can be found on a number of materials indoors. It has been isolated from jute fibers, papers, PVC, timber, optical lenses, leather, photographic paper, cigar tobacco, harvested grapes, bottled fruit, and fruit juice undergoing pasteurization.



Client: Mold Inspection Sciences, Inc. - CO
Contact: Michael Bains
Project: Sibly Cline Relocation - 7860 Jonell Square New Albany
Ohio
Date of Sampling: 03-22-2013
Date of Receipt: 03-25-2013
Date of Report: 03-26-2013

MoldREPORT
EMLab P & K
4955 Yarrow Street, Arvada, CO 80002
(800) 651-4802 Fax (623) 780-7695

Glossary (continued)

Penicillium / Aspergillus:

Distribution: *Penicillium / Aspergillus* are two separate genera of molds that are so visually similar that they are commonly discussed together as a group. Together, there are approximately 400 different species of *Penicillium / Aspergillus*.

How it is spread: *Penicillium / Aspergillus* produce dry spore types that are easily dispersed through the air by wind. These fungi serve as a food source for mites, and therefore can be dispersed by mites and various insects as well.

Where it is found outdoors: *Penicillium / Aspergillus* are found in soils, decaying plant debris, compost piles, fruit rot and some petroleum-based fuels.

Where it is found indoors: *Penicillium / Aspergillus* are found throughout the home. They are common in house dust, growing on wallpaper, wallpaper glue, decaying fabrics, wallboard, moist chipboards, and behind paint. They have also been isolated from blue rot in apples, dried foodstuffs, cheeses, fresh herbs, spices, dry cereals, nuts, onions, and oranges.

Stachybotrys:

Distribution: *Stachybotrys* is ubiquitous in nature. This genus contains about 15 species.

How it is spread: *Stachybotrys* produces wet slimy spores and is commonly dispersed through water flow, droplets, or insect transport, less commonly through the air.

Where it is found outdoors: *Stachybotrys* is found in soils, decaying plant debris, decomposing cellulose, leaf litter and seeds.

Where it is found indoors: *Stachybotrys* is common indoors on wet materials containing cellulose such as wallboard, jute, wicker, straw baskets, and other paper materials.

Torula:

Distribution: *Torula* is a cosmopolitan microfungus and includes approximately eight different species

How it is spread: *Torula* produces dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Torula* is most common in temperate regions and has been isolated from soils, dead herbaceous stems, sugar beet roots, groundnuts, and oats.

Where it is found indoors: *Torula* is common indoors on wet materials containing cellulose, such as wallboard, jute, wicker, straw baskets, and other paper materials.

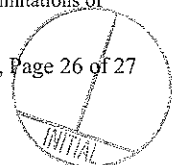
Ulocladium:

Distribution: *Ulocladium* is ubiquitous in nature and includes approximately nine different species.

How it is spread: *Ulocladium* produces dry spores that are easily dispersed through the air by wind.

Where it is found outdoors: *Ulocladium* is common outdoors in soils, dung, paint, grasses, wood, paper, and textiles.

Where it is found indoors: *Ulocladium* is common indoors on very wet materials containing cellulose such as wallboard, jute, wicker, straw baskets, and other paper materials. *Ulocladium* requires a significant amount of water to flourish.



Client: Mold Inspection Sciences, Inc. - CO

Contact: Michael Bains
Project: Sibcy Cline Relocation - 7860 Jonell Square New Albany
Ohio
Date of Sampling: 03-22-2013
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MoldREPORT

EMLab P & K
4955 Yarrow Street , Arvada, CO 80002
(800) 651-4802 Fax (623) 780-7695

References and Resources

References:

Airborne Allergens, William Solomon, Guest Editor. Immunology & Allergy Clinics of North America, Volume 9, Number 2, August 1989. W.B. Saunders Company, Publishers, The Curtis Center, Independence Square West, Philadelphia, PA 19106-3399. This book may be out of print.

Bioaerosols: Assessment and Control, Janet Macher, Sc.D., M.P.H., Editor. 1999. ACGIH, 1330 Kemper Meadow Drive, Cincinnati, OH 45240-1634.

Bioaerosols, Harriet Burge, Ph.D. 1995. Lewis Publishers, 2000 Corporate Blvd., N.W., Boca Raton, FL 33431-9868.

Biological Contaminants in Indoor Environments, Morey, Feeley, Otten, Editors. 1990. ASTM, 1916 Race Street, Philadelphia, PA 19103. STP 1071.

Fungi and Bacteria in Indoor Air Environments: Health Effects, Detection and Remediation, Proceedings from the International Conference, Saratoga Springs, NY October 6-7, 1994.

Health Implications of Fungi in Indoor Environments, Edited by R.A. Samson. 1994. Elsevier Science, P.O. Box 945, Madison Square Station, New York, NY 10159-0945.

Indoor Air and Human Health, Gammage & Kaye. 1985. Lewis Publishers.

Microfungi, S.G. Gravesen, J.C. Frisvad, & R.A. Samson, published by Munksgaard.

Useful Websites:

www.acgih.org
American Conference of Governmental Industrial Hygienists - information on IAQ and useful links.

www.aiha.org
American Industrial Hygiene Association - general IAQ information

www.calepa.ca.gov
California Environmental Protection Agency - California IAQ resources

www.emlab.com
EMLab P&K

www.epa.gov
Environmental Protection Agency - information regarding prevention and remediation of mold

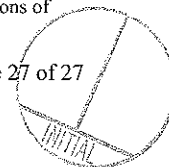
www.health.state.ny.us
New York State Department of Health - New York state recommendations for IAQ, indoor mold inspections, remediation, and prevention

www.moldreport.com
MoldREPORT™ - online store, and other information about MoldREPORT™

www.nih.gov
National Institutes of Health - information regarding environmental health issues, including IAQ

www.niehs.nih.gov
National Institute of Environmental Health Sciences - information on mold

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Mold

Inspection Sciences

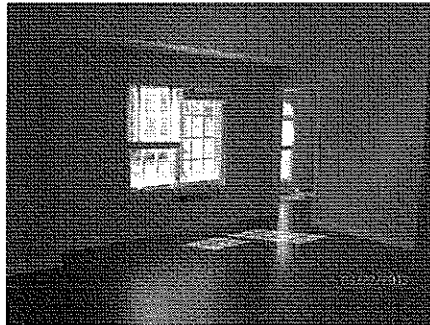
CLIENT	Sibcy Cline Relocation Services
PROPERTY ADDRESS	7860 Jonell Square ~ New Albany, OH 43054
DATE OF INSPECTION	Friday, March 22, 2013

APPENDIX I

INSPECTION PHOTOS AND COMMENTS

MASTER BEDROOM [Northwest Corner]

Wall is actively wet and retaining moisture.



Actively Wet Materials within the Exposed Wall Cavity

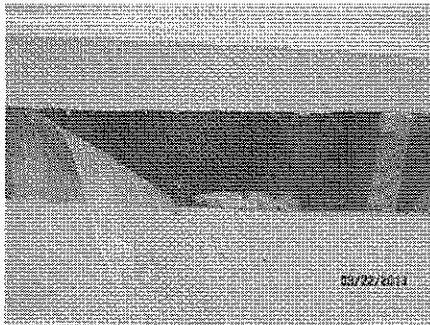
Moisture Content: Wet

Humidity - this area: 29%
Humidity - Outdoor: 30%

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco

MASTER BEDROOM (WALL CAVITY) [Northwest Corner]

Suspect mold-like growth was observed.



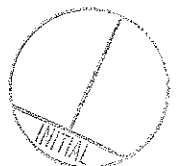
Exposed Wall Cavity Wood Rot and Mold Like Growth

Moisture Content: Wet

Humidity - this area: 29%
Humidity - Outdoor: 30%

Area affected: ~1'x 3'

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco



DEN [Southwest Corner]

Wall is actively wet and retaining moisture.



Actively Wet Materials within the Exposed Wall Cavity

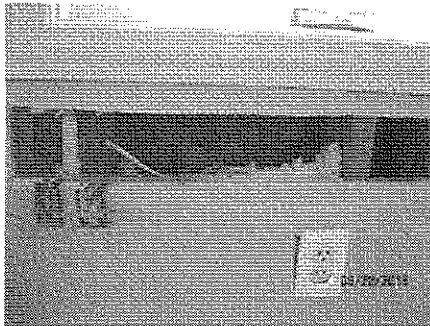
Moisture Content: Wet

Humidity - this area: 24%
Humidity - Outdoor: 30%

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco

DEN (WALL CAVITY) [Southwest Corner]

Suspect mold-like growth was observed.



Exposed Wall Cavity Wood Rot and Mold Like Growth

Moisture Content: Wet

Humidity - this area: 24%
Humidity - Outdoor: 30%

Area affected: ~1'x 2'

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco

KITCHEN [North Side]

Wall is actively wet and retaining moisture.



Actively Wet Materials within the Exposed Wall Cavity

Moisture Content: Wet

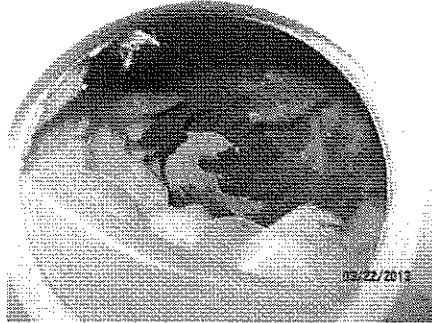
Humidity - this area: 23%
Humidity - Outdoor: 30%

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco



KITCHEN (WALL CAVITY) [North Side]

Suspect mold-like growth was observed.



Exposed Wall Cavity Wood Rot and Mold Like Growth

Moisture Content: Wet

Humidity - this area: 23%

Humidity - Outdoor: 30%

Area affected: ~1'x 2'

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco

DINING ROOM [South Side]

Wall is actively wet and retaining moisture.



Actively Wet Materials within the Exposed Wall Cavity

Moisture Content: Wet

Humidity - this area: 23%

Humidity - Outdoor: 30%

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco

DINING ROOM (WALL CAVITY) [South Side]

Suspect mold-like growth was observed.



Exposed Wall Cavity Wood Rot and Mold Like Growth

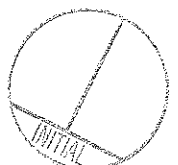
Moisture Content: Wet

Humidity - this area: 23%

Humidity - Outdoor: 30%

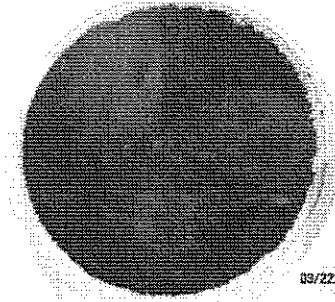
Area affected: ~1'x 2'

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco



GARAGE (WALL CAVITY)
[Southeast Corner]

Suspect mold-like growth was observed.



09/22/2013

*Exposed Wall Cavity Wood Rot and
Mold Like Growth*

Moisture Content: Wet

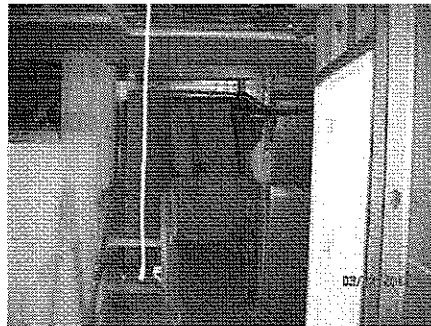
Humidity - this area: 25%
Humidity - Outdoor: 30%

Area affected: ~1'x 2'

Suspected source(s) of
water intrusion: Lack of
Vapor Barrier, and
Cracking in Stucco

UNFINISHED BASEMENT
[Northwest Corner]

Suspect mold-like growth was observed.



03/17/2014

*Mold Like Growth On Joist and
Exposed Crawlspace*

Moisture Content: Dry

Humidity - this area: 29%
Humidity - Outdoor: 30%

UNFINISHED BASEMENT (JOIST)
[Northwest Corner]

Suspect mold-like growth was observed.



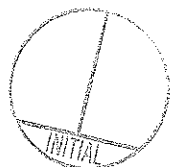
*Mold Like Growth on Joist. No Water
Source Detected in the Area, Possible
Pre-Construction Growth.*

Moisture Content: Dry

Humidity - this area: 29%
Humidity - Outdoor: 30%

Area affected: ~1'x 8'

Suspected source(s) of
water intrusion: None
Detected



GROUNDS [South Side]

Openings/cracks in exterior walls were observed.



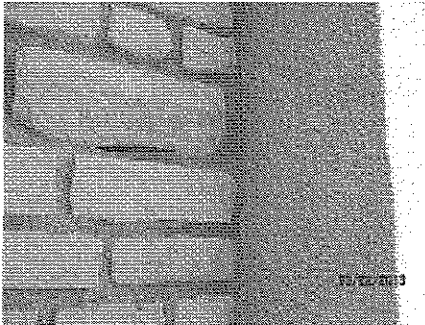
Exposed Opening in Stucco

Humidity - this area: 30%
Humidity - Outdoor: 30%

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco

GROUNDS [South Side]

Openings/cracks in exterior walls were observed.



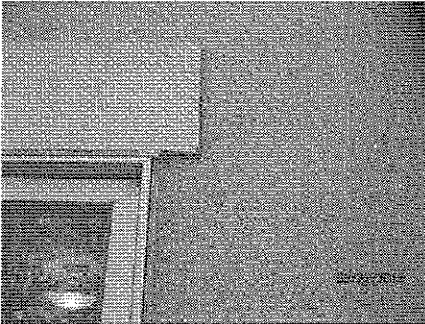
Cracks in Stucco and Mortar

Humidity - this area: 30%
Humidity - Outdoor: 30%

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco

GROUNDS [North Side]

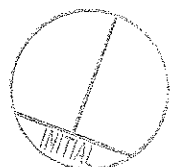
Openings/cracks in exterior walls were observed.



Cracks in Stucco

Humidity - this area: 30%
Humidity - Outdoor: 30%

Suspected source(s) of water intrusion: Lack of Vapor Barrier, and Cracking in Stucco





MOLD INSPECTION AND TESTING REPORT

CLIENT	Sibcy Cline Relocation Services
PROPERTY ADDRESS	7860 Jonell Square ~ New Albany, OH 43054
DATE OF INSPECTION	Friday, March 22, 2013

SUMMARY AND CONCLUSIONS

Based on the findings of our visual assessment and the concurrent laboratory analysis of the samples collected, the recommendation for professional mold remediation of the Master Bedroom, Den, Kitchen and Dining Room areas of the home is supported. Mold growth was confirmed in the wall cavities of the exterior walls in association with actively wet building materials. Additionally, due to the consistency of the moisture conditions in each area, it is likely that these conditions exist throughout all of the exterior wall cavities. Additional hidden mold growth is possible in all affected areas.

Based on our visual inspection and concurrent lab samples, we did not definitively detect a mold problem in the Unfinished Basement area of the home. Mold growth was confirmed at the joist area. However, the air sample collected showed normal airborne mold spore counts as compared to our outdoor sample, all of the tested building materials were dry, there were no signs of current or previous moisture intrusion, and it is believed that the growth was present on the materials prior to the construction phase. However, due to the moisture intrusion issues throughout the rest of the home, the client should consider including this area as part of the remediation efforts. Additional hidden mold growth is possible.

GENERAL RECOMMENDATIONS

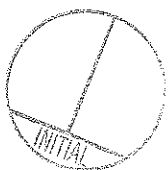
Engage a licensed professional to evaluate and repair, as necessary, the following items related to water intrusion:

- o EXTERIOR WALL CAVITIES - Lack of Vapor Barrier, and Cracking in Stucco

NOTE: MOLD GROWTH IS HIGHLY LIKELY TO RETURN IF MOISTURE INTRUSION ISSUES ARE NOT CORRECTED.

Mold Inspection Sciences, Inc.
Office: (513) 448-1253
www.cincinnati-mold-inspection.com

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Engage a professional water restoration company to dry out, in accordance with the publication "IICRC S500 Standard and Reference Guide for Professional Water Damage Restoration", the following areas:

- MASTER BEDROOM
- DEN
- KITCHEN
- DINING ROOM
- GARAGE

RECOMMENDATIONS FOR PROFESSIONAL MOLD REMEDIATION

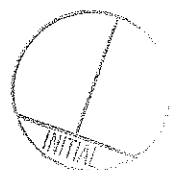
Remediation should be performed to the standards found in the publication "IICRC S520 Standard and Reference Guide for Mold Remediation".

Room/Area	Location within Room/Area and/or Affected Materials
All Exterior Wall Cavities	Mold Impacted and Water Damaged Materials. Mold growth was confirmed at the Master Bedroom, Den, Kitchen and Dining Room wall cavities. Additional hidden mold growth is likely within the unexposed exterior wall cavities and/or in relation to any actively wet building materials. If during removal additional mold sources/water damage is noted, remediation/removal should continue until 12" past the last impacted area wherever feasible.
Unfinished Basement	Mold Impacted and Water Damaged Materials. Mold growth was confirmed at the ceiling joist. Additional hidden mold growth is possible.

After the mold remediation is complete, but before new building materials are installed, the remediation project should be inspected, tested, and approved by Mold Inspection Sciences.

AIR SAMPLES

Lab Code	Location	Conclusion (Inside vs. Outside Ratio)	Comments
OS	Outdoor	Baseline	Recommended by inspector and requested by client.
ST1	Master	Normal Tolerances	Recommended by inspector and



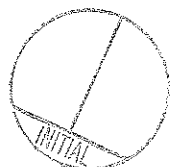
	Bedroom		approved by client
ST2	Den	Normal Tolerances	Recommended by inspector and approved by client
ST3	Kitchen	Normal Tolerances	Recommended by inspector and approved by client
ST4	Dining Room	Normal Tolerances	Recommended by inspector and approved by client
ST5	Unfinished Basement	Normal Tolerances	Recommended by inspector and approved by client

DIRECT SURFACE SAMPLES

Lab Code	Location	Conclusion	Comments
DE1	Master Bedroom (Wall Cavity)	Mold Growth: Brown hyphae with no associated spores, ID unknown.	Recommended by inspector and approved by client
DE2	Den (Wall Cavity)	Mold Growth: Brown hyphae with no associated spores, ID unknown.	Recommended by inspector and approved by client
DE3	Kitchen (Wall Cavity)	Mold Growth: Basidiospores; and Ulocladium species	Recommended by inspector and approved by client
DE4	Dining Room (Wall Cavity)	Mold Growth: Bispora species	Recommended by inspector and approved by client
DE5	Garage (Wall Cavity)	Mold Growth: Bipolaris / Drechslera group	Recommended by inspector and approved by client
DE6	Unfinished Basement (Joist)	Mold Growth: Brown hyphae with no associated spores, ID unknown.	Recommended by inspector and approved by client

For additional detailed information on the sample results, please see the independent laboratory report attached as an appendix at the end of this report.

Inspection photos and notes are located in Appendix I to this report.



CM Midwest, LLC
7558 King George Drive
New Albany, Ohio 43054

April 3, 2013

Sibcy Cline Relocation Services
8044 Montgomery Road, Suite 306
Cincinnati, Ohio 45236

Attention: Kathy Sigmon
Donna Socha

Regarding: 7860 Jonell Square
New Albany, Ohio 43054

Ladies:

I have completed my investigation of the single family residential property listed above and have included photos and a stucco consultant report on the findings along with recommendations as to the course of action for repairs.

I would characterize the damage and needed repairs as significant.

As outlined in the G.E.Peters, Inc. report, the recommendation is to remove all exterior stucco and stone veneer wall finishes as well as exterior windows, patio door, OSB wall sheathing and structural wood framing materials that has deteriorated from water infiltration damage and replace these finishes according to current building code and industry standards.

Additionally, I highly recommend replacement of all exterior windows and rear patio door with new units.

Interior drywall and wall cavity insulation must also be removed and replaced along with wood trim and possible ceiling and floor finishes to determine the total extent of the damage.

The work will require close coordination with your mold remediation company to insure all areas are treated properly before reconstruction can commence. This is highly important.

Permits from the City of New Albany and the neighborhood owner's association will also be needed.

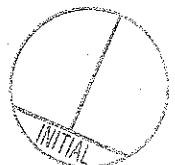
Of note and shown on the accompanying photos, pre-existing repairs had been made to the Master Bedroom and Dining Room window areas.

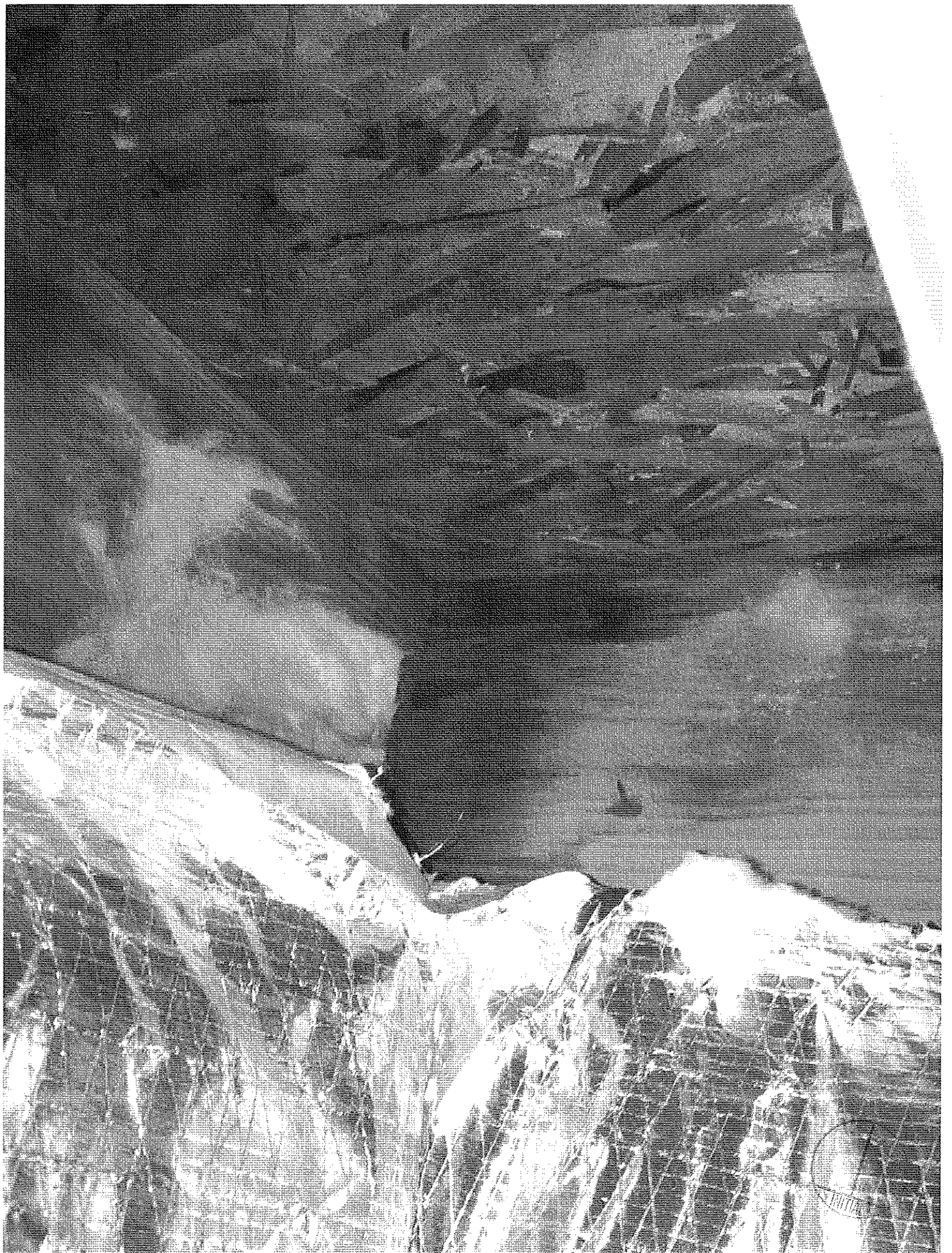
I am happy to assist you in the next phase of the project and would offer to coordinate and complete all repairs to the highest standards possible. I am readily available to discuss how the process would immediately move forward and my management fee structure to complete the work.

I look forward to speaking with you both very soon.

Sincerely,

Tim Snider



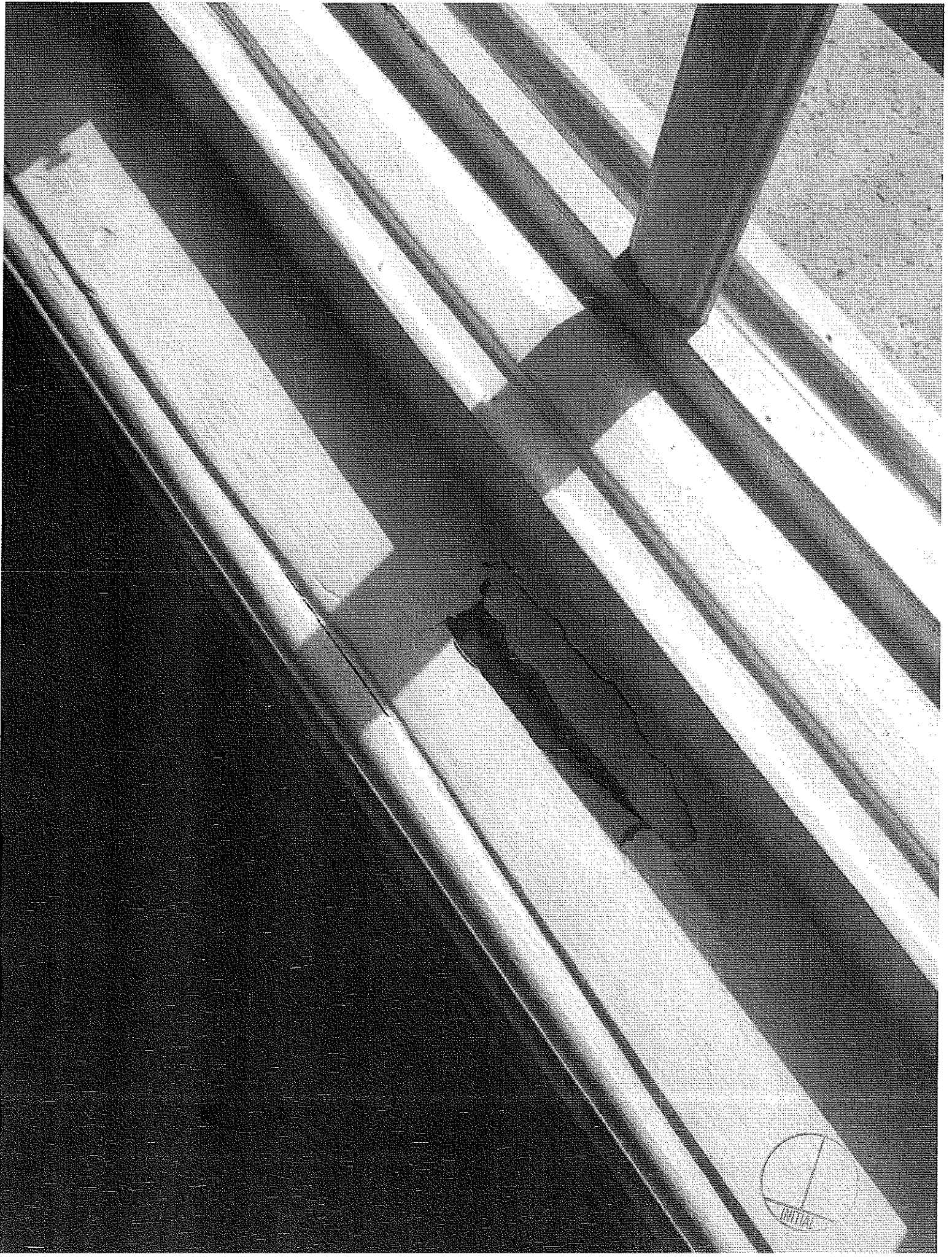




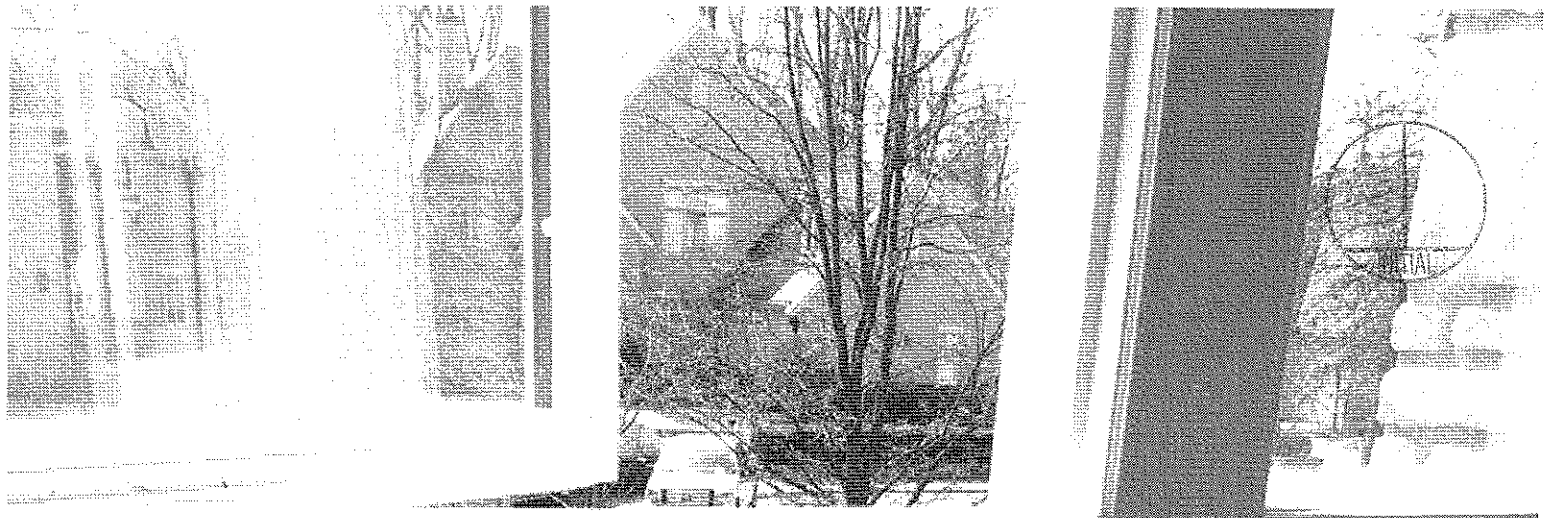


















G.E. Peters, Inc.

Inspection Services

Cement Stucco Inspection Report

Client Name:

CM Midwest, LLC
7558 King George Drive
New Albany, Ohio 43054

G.E. Peters File No.: CMM-001

Date of Inspection: April 1, 2013

Property Address:

7860 Jonell Square
New Albany, Ohio 43054

Report:

Property Description:

Residential two story, exterior cladding consisting of 3/4" Portland cement stucco on the front, left, rear and right elevations with stone veneer on the front, left and right 1st floor elevations and the entrance portico.

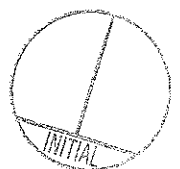
Weather: 12:40 pm, 40 degrees Fahrenheit, 47% RH and clear. Note that the last recorded rain was on 3-31-13.

Observations:

1. Photo #1 / Front elevation.
2. Photo # 2 / Left elevation.
3. Photo # 3 / Rear elevation.
4. Photo # 4 / Right elevation.
5. Photo # 5 / Typical cement stucco termination at grade.
 - Note that cement stucco weep screed has not been installed at the sill plate juncture with the masonry foundation as required.
6. Photo # 6 / Typical cement stucco termination at brick front porch and rear patio.
 - Note that the cement stucco has not been terminated above hard surfaces with weep screed as required.
7. Photo # 7 / Typical cement stucco termination at stone veneer.
 - Note that the cement stucco has been terminated at dissimilar materials and stone veneer without proper backer rod and sealant.

Phone: (614) 879-6264
Fax: (614) 879-6308

1005 WJ Kiousville Road
West Jefferson, Ohio 43162



8. Photo # 8 / Typical cement stucco terminations at roofing.
 - Note that the cement stucco has been terminated above the roofing as required.
9. Photo # 9 / Roofing to vertical wall junctures.
 - Note that the diverter flashing at the front elevation roofing to vertical wall juncture is undersized and not sealed as required.
10. Photo # 10 / Roofing to vertical wall junctures.
 - Note that the diverter flashing at the right elevation roofing to vertical wall juncture is undersized and not sealed as required.
11. Photo # 11 / Rear elevation cement stucco cracking at chimney.
 - Note that the cement stucco cladding has static and dynamic cracking in numerous locations.
12. Photo # 12 / Rear elevation cement stucco cracking at window openings.
 - Note that the cement stucco cladding has static and dynamic cracking in numerous locations.
13. Photo # 13 / Rear elevation vent penetration.
 - Note that proper flashing has not been installed at top of vent penetration as required.
 - Note that proper backer rod and sealant has not been installed at penetration.
14. Photo # 14 / Rear elevation vent penetration.
 - Note that proper flashing has not been installed at top of vent penetration as required.
 - Note that proper backer rod and sealant has not been installed at penetration.
15. Photo # 15 / Rear elevation electrical service penetrations.
 - Note that proper backer rod and sealant has not been installed at penetrations.
16. Photo # 16 / Rear elevation 1st floor window.
 - Note that proper cement stucco terminations, backer rod and sealant have not been installed at window and door penetrations on all elevations.
17. Photo # 17 / Rear elevation 1st floor window head and jamb.
 - Note that the single layer 15# building paper has been incorrectly extended over the window head and window jamb nailing fins.
 - Note that the window head galvanized metal flashing has been incorrectly installed over the 15# building paper.
18. Photo #18 / Rear elevation 1st floor window head and jamb.
 - Note that the single layer 15# building paper has not been returned into the window jamb rough opening per the manufacturer's installation instructions as required.
 - Note that self-adhesive corner pads have been installed at outside nailing fin corners.
 - Note that there are no sealants visible at nailing flange and nailing flange holes as required by the manufacturer's installation instructions.
19. Photo # 19 / Rear elevation 1st floor window head and jamb.
 - Note that the OSB wood sheathing has a moisture content of 14.5%.
 - Note that moisture intrusion is visible at this destructive opening.



20. Photo #20 / Rear elevation 1st floor windowsill and jamb.
- Note that the single layer 15# building paper has not been returned into the window jamb rough opening per the manufacturer's installation instructions as required.
 - Note that the windowsill rough opening flashing tape has not been installed per the manufacturers installation instructions as required
21. Photo # 21 / Rear elevation 1st floor windowsill and jamb.
- Note that the OSB wood sheathing has a moisture content of 10.6%.
 - Note that the OSB wood sheathing is moisture damaged on the exterior face and interior side of this window opening.
22. Photo # 22 / Front elevation cement stucco termination at horizontal lime stone cap.
- Note that the single layer 15# building paper has not been returned over the galvanized metal flashing nailing flange as required.
 - Note that the horizontal lime stone caps have not been properly sloped to direct water away from the vertical wall surface to the face of the stone veneer as required.
23. Photo # 23 / Front elevation cement stucco termination at horizontal lime stone cap.
- Note that the stone veneer single layer 15# building paper has been extended under the galvanized metal flashing nailing flange as required.
 - Note that moisture intrusion is visible at this destructive opening.
24. Photo # 24 / Front elevation cement stucco termination at the horizontal lime stone cap.
- Note that the OSB wood sheathing has a moisture content of 0.0%.
 - Note that the OSB wood sheathing is moisture damaged on the exterior face and interior side of this elevation.

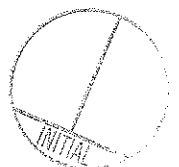
Moisture readings:

Tramex professional moisture meter probe was used to verify moisture content of the substrate OSB sheathing at the following locations.

1. Rear elevation center 1st floor window head left corner, 14.5%.
2. Rear elevation center 1st floor windowsill left corner, 10.6%
3. Front elevation center stucco termination at horizontal lime stone cap, 0.0%.

Areas of concern:

1. Incorrect cement stucco terminations below grade and at hard surfaces without correct weep screed at the foundation may allow for moisture damage to the cement stucco cladding from freeze thaw cycles.
2. Lack of proper cement stucco terminations, backer rod and sealant at dissimilar materials may allow for moisture intrusion and damage to the cement stucco cladding, substrate sheathing and wall cavities.
3. Lack of proper diverter flashing at roofing to vertical wall junctures on the front, rear and right elevations may allow for moisture intrusion and damage to the cement stucco cladding and substrates.



4. Static and dynamic cracking of the cement stucco cladding may allow for moisture intrusion and damage to cement stucco cladding, substrate sheathing and wall cavities.
5. Lack of proper flashing and stucco terminations, backer rod and sealants at vents and electrical penetrations of the cement stucco cladding may allow for moisture intrusion and damage to the cement stucco cladding, substrate sheathing and wall cavities.
6. Lack of proper two layers of water resistive Grade D paper at all exterior wall surfaces may allow for moisture intrusion and damage to the substrate sheathing, windows, doors and wall cavities.
7. Lack of proper window jamb, door jamb and sill rough opening weather barriers may allow for moisture intrusion and damage to the cement stucco cladding, substrate sheathing and wall cavities.
8. Lack of proper flashing tape and sealants at window frame nailing fins may allow for moisture intrusion and damage to the window frame, substrate sheathing, wall cavities and cement stucco cladding.
9. Lack of proper slope on lime stone cap may allow for moisture intrusion at the cement stucco termination and damage to the substrate sheathing and wall cavities.

Conclusions:

1. Reference ICC Evaluation Services, Inc. / Acceptance Criteria For Cementitious Exterior Wall Coatings AC11 / 3.2 Exterior Wall Construction: / 3.2.7 Consideration for Detrimental Relative Movement: For recognition under the IBC, IRC and UBC, two layers of Grade D building paper complying with UBC Standard 14-1 are required over wood-based sheathing.
2. Moisture intrusion has occurred at the cement stucco terminations and penetrations with dissimilar materials where proper weather barriers, flashing, backer rod and sealants have not been installed as required.
3. *Consider removing all cement stucco cladding and reinstalling proper water resistive weather barriers at all window and door rough openings as well as the exterior Oriented Strand Board (OSB) wood sheathing surfaces.*
4. *Consider removing all existing Windsor windows and installing proper window jamb and windowsill weather barriers.*
5. *Consider installing all windows per Windsor Windows & Doors Installation Guidelines.*
6. *Consider installing the exterior cement stucco cladding per the Residential Code of Ohio, Chapter 4101:8-7-01 Wall Covering, 703.6 Exterior Plaster. Note installation of these materials shall be in compliance with ASTM C926 and ASTM C1063 and the provisions of this code.*
7. *Reference Chapter 4101:8-7 Wall Covering sections 703.6.1 Lath, 703.6.2 Plaster, 703.6.2.1 Weep screeds, 703.6.3 Water-resistive barriers when making repairs.*
8. *Consider installing weather barriers and sill pans at all door jamb rough openings.*
9. *Consider installing proper industry standard diverter flashings and sealants at all roofing to vertical wall junctures.*



- 10. Consider installing proper backer rod and sealants at all terminations and penetrations of the cement stucco system.*
- 11. Consider removing existing stone veneer and lime stone horizontal cap to repair moisture damaged OSB wood sheathing, reinstall proper weather barrier over sheathing, weep openings in stone veneer at foundation and properly sloped lime stone cap.*

Conclusions drawn in this report are based on observations and on information available, known and declared at the date of investigation and/or the time of preparation of this report. This report is furnished as privileged and confidential to the addressee. Release to any other company, concern, or individual is solely the responsibility of the addressee. Should additional information be uncovered or made available, we retain the right to revise or supplement our report accordingly. We trust this is the information you require. Please call if we can provide you with any further assistance.

Attached: Photographic documentation.

Submitted respectfully,
Gerald E. Peters
G.E. Peters, Inc.





Photo #1 / Front elevation.



Photo # 2 / Left elevation.

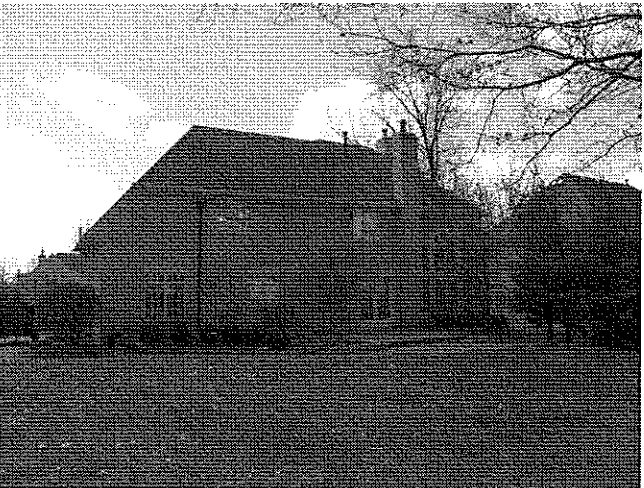


Photo # 3 / Rear elevation.

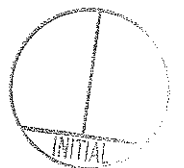




Photo # 4 / Right elevation.



Photo # 5 / Typical cement stucco termination at grade.

- Note that cement stucco weep screed has not been installed at the sill plate juncture with the masonry foundation as required.

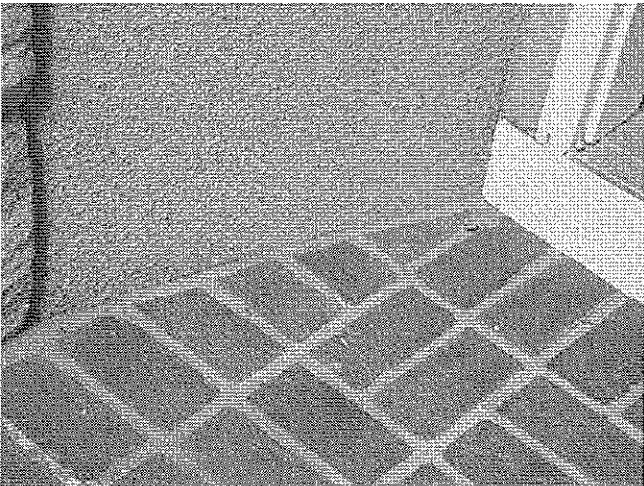


Photo # 6 / Typical cement stucco termination at brick front porch and rear patio.

- Note that the cement stucco has not been terminated above hard surfaces with weep screed as required.



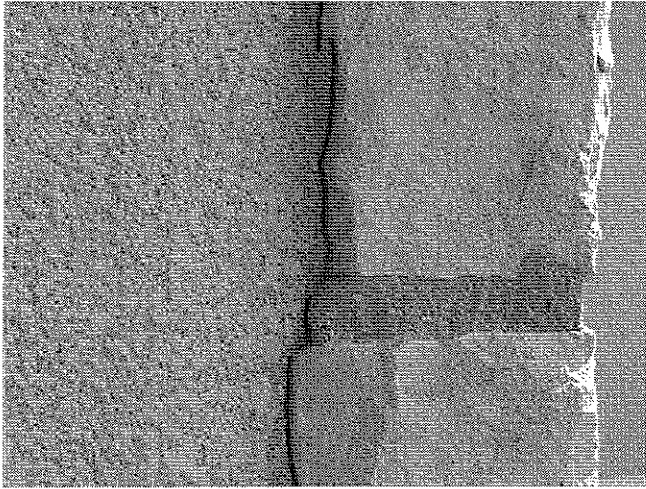


Photo # 7 / Typical cement stucco termination at stone veneer.

- Note that the cement stucco has been terminated at dissimilar materials and stone veneer without proper backer rod and sealant.



Photo # 8 / Typical cement stucco terminations at roofing.

- Note that the cement stucco has been terminated above the roofing as required.



Photo # 9 / Roofing to vertical wall junctures.

- Note that the diverter flashing at the front elevation roofing to vertical wall juncture is undersized and not sealed as required.





Photo # 10 / Roofing to vertical wall junctures.

- Note that the diverter flashing at the right elevation roofing to vertical wall juncture is undersized and not sealed as required.

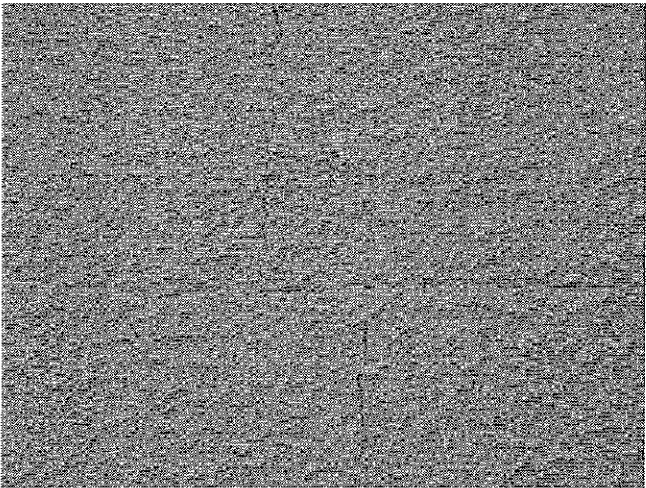


Photo # 11 / Rear elevation cement stucco cracking at chimney.

- Note that the cement stucco cladding has static and dynamic cracking in numerous locations.



Photo # 12 / Rear elevation cement stucco cracking at window openings.

- Note that the cement stucco cladding has static and dynamic cracking in numerous locations.

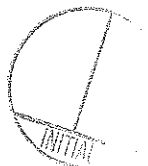




Photo # 13 / Rear elevation vent penetration.

- Note that proper flashing has not been installed at top of vent penetration as required.
- Note that proper backer rod and sealant has not been installed at penetration.

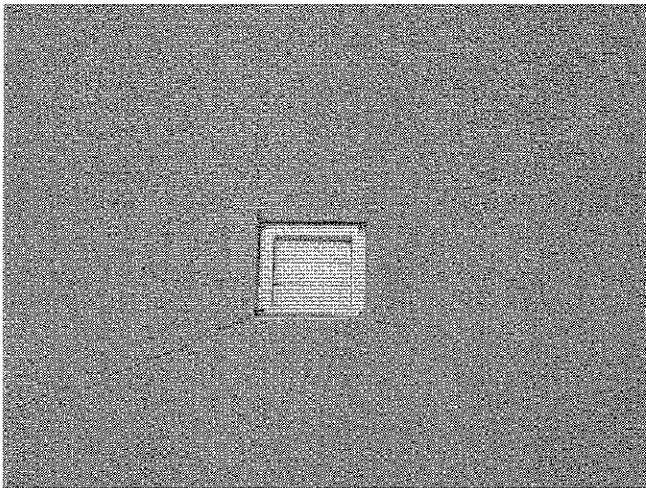


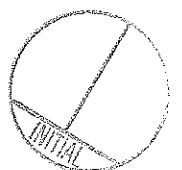
Photo # 14 / Rear elevation vent penetration.

- Note that proper flashing has not been installed at top of vent penetration as required.
- Note that proper backer rod and sealant has not been installed at penetration.



Photo # 15 / Rear elevation electrical service penetrations.

- Note that proper backer rod and sealant has not been installed at penetrations.



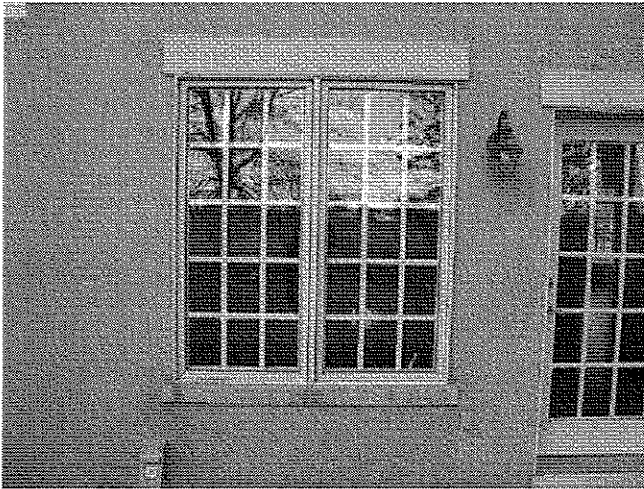


Photo # 16 / Rear elevation 1st floor window.

- Note that proper cement stucco terminations, backer rod and sealant have not been installed at window and door penetrations on all elevations.

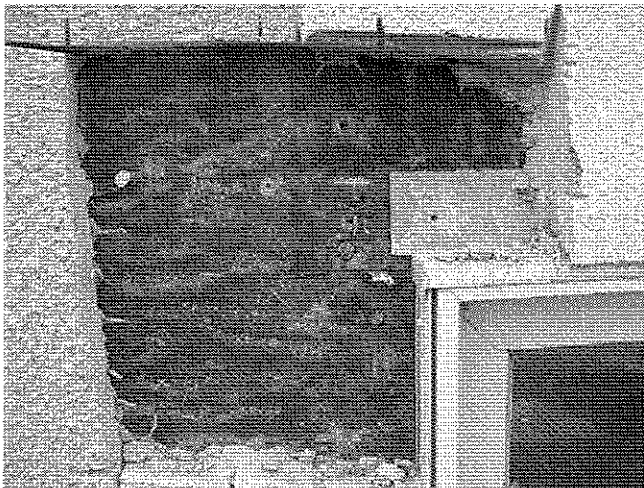


Photo # 17 / Rear elevation 1st floor window head and jamb.

- Note that the single layer 15# building paper has been incorrectly extended over the window head and window jamb nailing fins.
- Note that the window head galvanized metal flashing has been incorrectly installed over the 15# building paper.



Photo #18 / Rear elevation 1st floor window head and jamb.

- Note that the single layer 15# building paper has not been returned into the window jamb rough opening per the manufacturer's installation instructions as required.
- Note that self adhesive corner pads have been installed at outside nailing fin corners.
- Note that there are no sealants visible at nailing flange and nailing flange holes as required by the manufacturer's installation instructions.

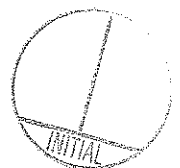




Photo # 19 / Rear elevation 1st floor window head and jamb.

- Note that the OSB wood sheathing has a moisture content of 14.5%.
- Note that moisture intrusion is visible at this destructive opening.

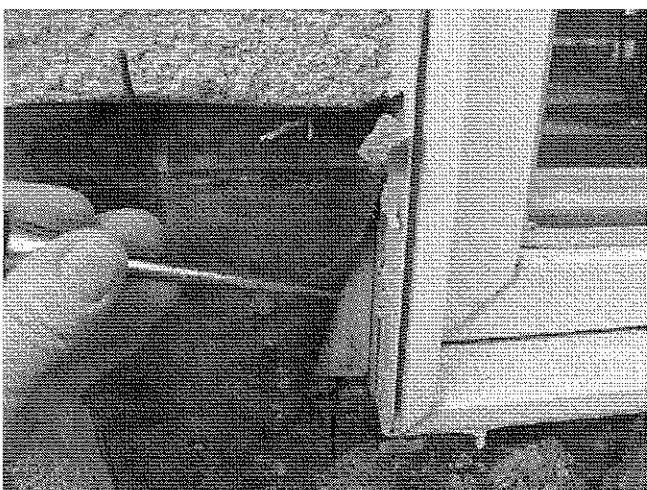


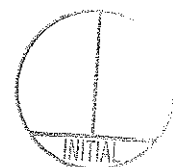
Photo #20 / Rear elevation 1st floor windowsill and jamb.

- Note that the single layer 15# building paper has not been returned into the window jamb rough opening per the manufacturer's installation instructions as required.
- Note that the windowsill rough opening flashing tape has not been installed per the manufacturers installation instructions as required



Photo # 21 / Rear elevation 1st floor windowsill and jamb.

- Note that the OSB wood sheathing has a moisture content of 10.6%.
- Note that the OSB wood sheathing is moisture damaged on the exterior face and interior side of this window opening.



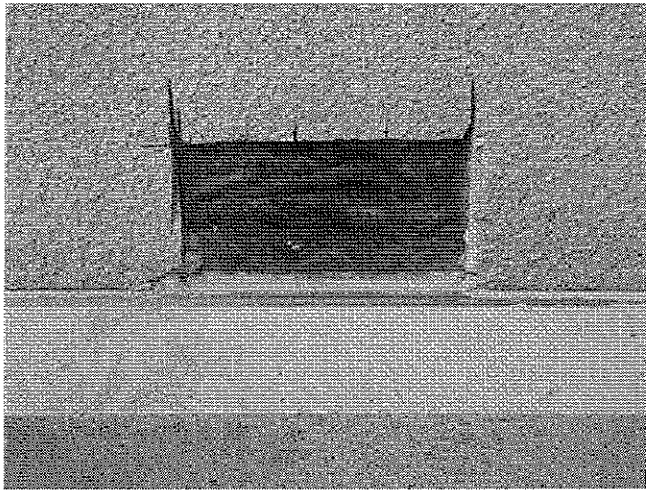


Photo # 22 / Front elevation cement stucco termination at horizontal lime stone cap.

- Note that the single layer 15# building paper has not been returned over the galvanized metal flashing nailing flange as required.
- Note that the horizontal lime stone caps have not been properly sloped to direct water away from the vertical wall surface to the face of the stone veneer as required.

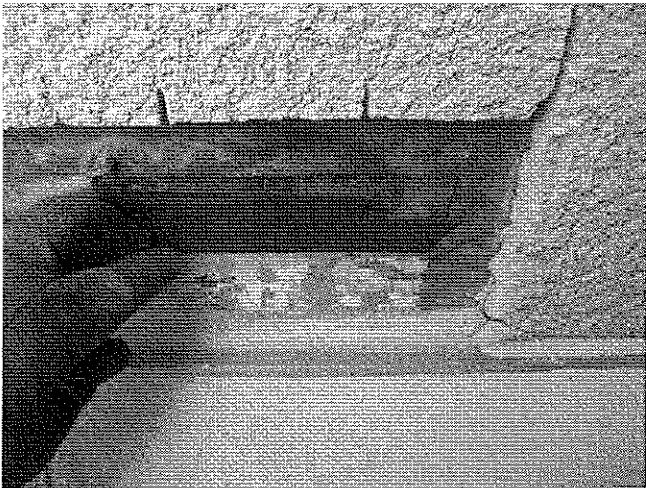


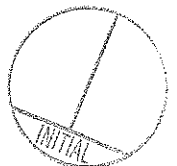
Photo # 23 / Front elevation cement stucco termination at horizontal lime stone cap.

- Note that the stone veneer single layer 15# building paper has been extended under the galvanized metal flashing nailing flange as required.
- Note that moisture intrusion is visible at this destructive opening.



Photo # 24 / Front elevation cement stucco termination at the horizontal lime stone cap.

- Note that the OSB wood sheathing has a moisture content of 0.0%.
- Note that the OSB wood sheathing is moisture damaged on the exterior face and interior side of this elevation.





STATE OF OHIO
DEPARTMENT OF COMMERCE

11/6/08

RESIDENTIAL PROPERTY DISCLOSURE FORM

Pursuant to section 5302.30 of the Revised Code and rule 1301:5-6-10 of the Administrative Code.

TO BE COMPLETED BY OWNER (Please Print)

Property Address: 7060 Jonell Square
New Albany, OH 43054

Owners Name(s): Rodney & Kelley Simpson

Date: 10/21, 2012

Owner is is not occupying the property. If owner is occupying the property, since what date: 5/30/2008

Purpose of Disclosure Form: This is a statement of the condition of the property and of information concerning the property actually known by the owner as required by Ohio Revised Code Section 5302.30. Unless otherwise advised in writing by the owner, the owner, other than having lived at or owning the property, possesses no greater knowledge than that which could be obtained by a careful inspection of the property by a potential purchaser. Unless otherwise advised, owner has not conducted any inspection of generally inaccessible areas of the property. THIS STATEMENT IS NOT A WARRANTY OF ANY KIND BY THE OWNER OR BY ANY AGENT OR SUBAGENT REPRESENTING THE OWNER OF THE PROPERTY. THIS STATEMENT IS NOT A SUBSTITUTE FOR ANY INSPECTIONS. POTENTIAL PURCHASERS ARE ENCOURAGED TO OBTAIN THEIR OWN PROFESSIONAL INSPECTION.

Owner's Statement: The representations contained on this form are made by the owner and are not the representations of the owner's agent or subagent. This form and the representations contained in it are provided by the owner exclusively to potential purchasers in a transfer made by the owner, and are not made to purchasers in any subsequent transfers. The information contained in this disclosure form does not limit the obligation of the owner to disclose an item of information that is required by any other statute or law to be disclosed in the transfer of residential real estate. For example, although some questions are limited to the past five years material problems or defects that occurred over five years ago that have not been fully corrected are required to be disclosed.

Instructions to Owner: (1) Answer ALL questions. (2) Identify any material matters in the property that are actually known. (3) Attach additional pages with your signature if additional space is needed. (4) Complete this form yourself. (5) If some items do not apply to your property, write NA (not applicable). If the item to be disclosed is not within your actual knowledge, indicate Unknown.

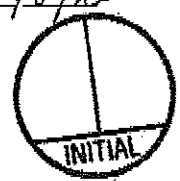
THE FOLLOWING STATEMENTS OF THE OWNER ARE BASED ON OWNER'S ACTUAL KNOWLEDGE

- A) WATER SUPPLY: The source of water supply to the property is (check appropriate boxes):
- Public Water Service
 - Private Water Service
 - Private Well
 - Shared Well
 - Holding Tank
 - Cistern
 - Spring
 - Pond
 - Unknown
 - Other _____

Do you know of any current leaks, backups or other material problems with the water supply system or quality of the water?
 Yes No If "Yes", please describe: _____

Is the quantity of water sufficient for your household use? (NOTE: water usage will vary from household to household) Yes No
If owner knows of any leaks, backups or other material problems with the water supply system or quality or quantity of the water since owning the property (but not longer than the past 5 years), please describe and indicate any repairs completed: _____

Owner's Initials KJS AS Date 10/20/12 Purchaser's Initials Sy Date 11/8/12



Property Address 7860 JONELL SQ., NEW ALBANY, OH 43054

B) SEWER SYSTEM: The nature of the sanitary sewer system servicing the property is (check appropriate boxes):

- Public Sewer
- Private Sewer
- Septic Tank
- Leach Field
- Aeration Tank
- Filtration Bed
- Unknown
- Other _____

If not a public or private sewer, date of last inspection: _____

Do you know of any current leaks, backups or other material problems with the sewer system servicing the property? Yes No

If "Yes", please describe: _____

If owner knows of any leaks, backups or other material problems with the sewer system since owning the property (but not longer than the past 5 years), please describe and indicate any repairs completed: _____

Information on the operation and maintenance of the type of sewage system serving the property is available from the department of health or the board of health of the health district in which the property is located.

C) ROOF: Do you know of any current leaks or other material problems with the roof or rain gutters? Yes No

If "Yes", please describe: _____

If owner knows of any leaks or other material problems with the roof or rain gutters since owning the property (but not longer than the past 5 years), please describe and indicate any repairs completed: _____

D) WATER INTRUSION: Do you know of any previous or current water leakage, water accumulation, excess moisture or other defects to the property, including but not limited to any area below grade, basement or crawl space? Yes No

If "Yes", please describe and indicate any repairs completed: _____

Do you know of any water or moisture related damage to floors, walls or ceilings as a result of flooding; moisture seepage; moisture condensation; ice damming; sewer overflow/backlog; or leaking pipes, plumbing fixtures, or appliances? Yes No

If "Yes", please describe and indicate any repairs completed: _____

Purchaser is advised that every home contains mold. Some people are more sensitive to mold than others. If concerned about this issue, purchaser is encouraged to have a mold inspection done by a qualified inspector. Have you ever had the property inspected for mold by a qualified inspector?

Yes No If "Yes", please describe and indicate whether you have an inspection report and any remediation undertaken: _____

E) STRUCTURAL COMPONENTS (FOUNDATION, BASEMENT/CRAWL SPACE, FLOORS, INTERIOR AND EXTERIOR WALLS):

Do you know of any movement, shifting, deterioration, material cracks/settling (other than visible minor cracks or blemishes) or other material problems with the foundation, basement/crawl space, floors, or interior/exterior walls?

Yes No If "Yes", please describe: _____

If owner knows of any repairs, alterations or modifications to control the cause or effect of any problem identified above, since owning the property (but not longer than the past 5 years), please describe: _____

Do you know of any previous or current fire or smoke damage to the property? Yes No

If "Yes", please describe and indicate any repairs completed: _____

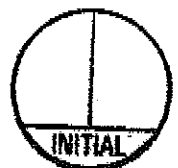
F) MECHANICAL SYSTEMS: Do you know of any current problems or defects with the following mechanical systems? If your property does not have the mechanical system, mark N/A (Not Applicable).

	YES	NO	N/A		YES	NO	N/A
1) Electrical	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	8) Water softener	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2) Plumbing (pipes)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Is water softener leased?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) Central heating	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	9) Security System	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4) Central Air conditioning	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Is security system leased?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5) Sump pump	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	10) Central vacuum	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6) Fireplace/chimney	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	11) Built in appliances	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7) Lawn sprinkler	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	12) Other mechanical systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

If the answer to any of the above questions is "Yes", please describe and indicate any repairs to the mechanical system since owning the property (but not longer than the past 5 years). _____

Owner's Initials KJS RB Date 10/20/12

Purchaser's Initials SL Date 11/8/12



Property Address 7860 JONELL SQ., NEW ALBANY OH 43054

G) WOOD BORING INSECTS/TERMITES: Do you know of the presence of any wood boring insects/termites in or on the property or any existing damage to the property caused by wood boring insects/termites? Yes No
If "Yes", please describe: _____

If owner knows of any inspection or treatment for wood boring insects/termites, since owning the property (but not longer than the past 5 years), please describe: _____

H) PRESENCE OF HAZARDOUS MATERIALS: Do you know of the previous or current presence of any of the below identified hazardous materials on the property?

- | | Yes | No | Unknown |
|---|--------------------------|-------------------------------------|--------------------------|
| 1) Lead-Based Paint | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2) Asbestos | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3) Urea-Formaldehyde Foam Insulation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4) Radon Gas | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| a. If "Yes", indicate level of gas if known _____ | | | |
| 5) Other toxic or hazardous substances | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If the answer to any of the above questions is "Yes", please describe and indicate any repairs, remediation or mitigation to the property: _____

I) FLOOD PLAIN/LAKE ERIE COASTAL EROSION AREA:

Is the property located in a designated flood plain? Yes No Unknown

Is the property or any portion of the property included in a Lake Erie Coastal Erosion Area? Yes No Unknown

J) DRAINAGE/EROSION: Do you know of any current flooding, drainage, settling or grading or erosion problems affecting the property? Yes No

If "Yes", please describe: _____

If owner knows of any repairs, modifications or alterations to the property or other attempts to control any flooding, drainage, settling, grading or erosion problems since owning the property (but not longer than the past 5 years), please describe: _____

K) ZONING/CODE VIOLATIONS/ASSESSMENTS/HOME OWNERS ASSOCIATION: Do you know of any violations of building or housing codes, zoning ordinances affecting the property or any nonconforming uses of the property? Yes No

If "Yes", please describe: _____

Is the structure on the property designated by any governmental authority as a historic building or as being located in an historic district? (NOTE: such designation may limit changes or improvements that may be made to the property). Yes No

If "Yes", please describe: _____

Do you know of any recent or proposed assessments, which could affect the property? Yes No

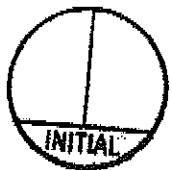
If "Yes", please describe: _____

Is the property subject to any rules or regulations of, or the payment of any fees or charges to, a Homeowners Association, Condominium Association or any other Community Association? Yes No ^{Start}

If "Yes", please describe: THE RESERVE OF NEW ALBANY HOMEOWNERS ASSOCIATION
\$1500 ANNUALLY. PAID 2012.

Owner's Initials AS Date 10/2012

Purchaser's Initials Ly Date 11/2/12



Property Address 7860 JONELL SQ., NEW ALBANY OH 43054

L) BOUNDARY LINES/ENCROACHMENTS/SHARED DRIVEWAY/PARTY WALLS: Do you know of any of the following conditions affecting the property?

	Yes	No		Yes	No
1) Boundary Agreement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	4) Shared Driveway	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Boundary Dispute	<input type="checkbox"/>	<input checked="" type="checkbox"/>	5) Party Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) Recent Boundary Change	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6) Encroachments From or on Adjacent Property	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to any of the above questions is "Yes", please describe: _____

M) UNDERGROUND STORAGE TANKS/WELLS: Do you know of any underground storage tanks (existing or removed), oil or natural gas wells (plugged or unplugged), or abandoned water wells on the property? Yes No
 If "Yes", please describe: _____

N) OTHER KNOWN MATERIAL DEFECTS: The following are other known material defects in or on the property: N/A

For purposes of this section, material defects would include any non-observable physical condition existing on the property that could be dangerous to anyone occupying the property or any non-observable physical condition that could inhibit a person's use of the property.

Owner represents that the statements contained in this form are made in good faith based on his/her actual knowledge as of the date signed by the Owner. Owner is advised that the information contained in this disclosure form does not limit the obligation of the owner to disclose an item of information that is required by any other statute or law or that may exist to preclude fraud, either by misrepresentation, concealment or nondisclosure in a transaction involving the transfer of residential real estate.

OWNER: Kelley Simpson DATE: 10-21-2017

OWNER: Rodney Sny DATE: 10-21-2012

RECEIPT AND ACKNOWLEDGEMENT OF POTENTIAL PURCHASERS

Potential purchasers are advised that the owner has no obligation to update this form but may do so according to Revised Code Section 5302.30(G). Pursuant to Ohio Revised Code Section 5302.30(K), if this form is not provided to you prior to the time you enter into a purchase contract for the property, you may rescind the purchase contract by delivering a signed and dated document of rescission to Owner or Owner's agent, provided the document of rescission is delivered prior to all three of the following dates: 1) the date of closing; 2) 30 days after the Owner accepted your offer; and 3) within 3 business days following your receipt or your agent's receipt of this form or an amendment of this form.

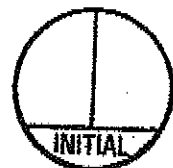
I/WE ACKNOWLEDGE RECEIPT OF A COPY OF THIS DISCLOSURE FORM AND UNDERSTAND THAT THE STATEMENTS ARE MADE BASED ON THE OWNERS ACTUAL KNOWLEDGE AS OF THE DATE SIGNED BY THE OWNER.

Owner makes no representations with respect to any offsite conditions. Purchaser should exercise whatever due diligence purchaser deems necessary with respect to offsite issues that may affect purchaser's decision to purchase the property. Purchaser should exercise whatever due diligence purchaser deems necessary with respect to Ohio's Sex Offender Registration and Notification Law (commonly referred to as "Megan's Law"). This law requires the local Sheriff to provide written notice to neighbors if a sex offender resides or intends to reside in the area. The notice provided by the Sheriff is a public record and is open to inspection under Ohio's Public Records Law. If concerned about this issue, purchaser assumes responsibility to obtain information from the Sheriff's office regarding the notices they have provided pursuant to Megan's Law.

My/Our Signature below does not constitute approval of any disclosed condition as represented herein by the owner.

PURCHASER: Samuel Gasser DATE: 11-8-12

PURCHASER: SIBCY CLINE RELOCATION SERVICES, INC. DATE: _____



Sibcy Cline Relocation Services Seller's Property Disclosure
Page 1 of 6

Complete all six pages, sign and return to SCRS

Owner's Names: Rodney Simpson
Kalley Simpson

Property Address:
7860 Jonell Square
New Albany, OH 43054

Approximate age of property 13 years old Date of Purchase May 2007

This document is a disclosure of seller's knowledge of the condition of the Property as of the date the seller executed this document. This document is not a warranty of any kind by the seller and is not a substitute for any inspections or warranties the buyer may wish to obtain. The following document is based upon representations made by the seller and is based upon seller's knowledge and is not a representation of SCRS or their client.

Check N/A if not present on property, YES if included with property and No if excluded from the sale. (Be sure items included are consistent with listing agreement.)

Property	N/A	YES	NO	Condition/Age
Attached Antenna	✓	✓		
Ceiling Fan(s)		✓		
Clothes Dryer		✓		
Dishwasher		✓		5 yrs
Disposal (2)		✓		5 yrs
Fireplace Equipment		✓		Great 5 yrs
Fireplace Insert		✓		Great 5 yrs
Garage Door Opener		✓		2, 1 new, 13 yrs
Humidifier		✓		Good, 13 yrs
Incinerator			✓	
Microwave		✓		5 yrs, Great
Oven and Range		✓		5 yrs, Great
Pool			✓	
Pool Equipment	✓			
Refrigerator		✓		5 yrs, Great

Property	N/A	YES	NO	Condition/Age
Screens		✓		Like New, 13 yrs
Smoke Alarms		✓		13 yrs
Solar Equipment	✓			
Storm Windows	✓			
Sump Pump(s)		✓		Like New
Trash Compactor			✓	
Vent Fans			✓	
Washing Machine			✓	
Water Heater		✓		New 5 yrs Ago
Water Softener			✓	
Window AC Units	✓			
Window treatment		✓		Mixed
Wood-burning Stove			✓	
Other AirCond		✓		NEW 2012
Other Radon System		✓		New 2007

STRUCTURAL

Have any of the following conditions occurred?

A: Basement	YES	NO	YES	NO
Water in Basement		✓		✓
Flooding		✓		✓
Leakage		✓	✓	
Dampness		✓		✓
Floor/Walls Cracked		✓		✓
Bulges		✓	✓	
			New Gutter	

Explain all "YES" responses: Per email sent to Sibcy Cline, original gutters were installed in cream and then painted by builders. Paint peeled so gutters were replaced in 2011.

B: Roof	YES	NO	YES	NO
Original Roof	✓			✓
Roof Ever Leaked <u>slight when bought 5 yrs ago</u>	✓		✓	
Gutter Ever Leaked		✓		✓
Gutter Backed Up		✓		✓
Other		✓		
Roof (years)			✓	
Age			13	

Explain all "YES" responses: Original roof showed slight leak when bought 5 yrs ago and repaired. Found during inspection in 2007. Other inspection showed no issues. Inspected when new gutters were installed in 2011.



Sibcy Cline Relocation Services Seller's Property Disclosure
Page 2 of 6

C. Wood Destroying Organisms	YES	NO		YES	NO
Are you aware of any evidence of:					
Wood Rot		✓	Powder Post Beetles		✓
Mildew		✓	Other Insect Infestation		✓
Vermin		✓	Repairs Made/Completed		✓
Rodents		✓	Repairs Warranted / In Writing		✓
Carpenter Ants		✓			

Explain all "YES" responses:

D. Windows	YES	NO		YES	NO
Do you have:					
Thermopane Windows		✓	Brick Molding Dry Rot		✓
Broken Windows		✓	Repairs Made/ Completed		✓
Broken Seals		✓	Repairs Warranted / In Writing		✓
Sill Dry Rot		✓	Ever Leaked		✓
Skylights		✓			

Explain:

E. Asbestos	YES	NO
To the best of your knowledge:		
Is any boiler, pipe, duct, tank, furnace or load supporting structural member insulated or fireproofed with asbestos?		✓

Explain - If yes, location:

F. Siding	YES	NO		YES	NO
Do you have:					
Hardboard Siding (LP, GP, Masonite, etc.)		✓	Synthetic Stucco (EIFS)		✓
Wood Siding		✓	Repairs Made/ Completed		✓
Aluminum Siding		✓	Repairs Warranted / In Writing		✓
Vinyl Siding		✓	Ever Leaked		✓
Hard Stucco ✓ <i>3 part europe style</i>					
Have you made a claim against any class action suit or against any builders, subcontractors, etc.?					

Explain:

Stucco is an expensive 3-part dashed stucco 1" thick.



Sibcy Cline Relocation Services Seller's Property Disclosure
Page 4 of 6

E. Water

System Type:
 Municipal Mound
 Private Well Point Well
 Drilled Well Pit

Age of Well Pump? N/A
 Date last pressure test: 1/1/12 Date of last recharge: 1/1/12

Comments on well: N/A

M. Land & Site	YES	NO
Are there any unpaid assessments?		✓
Have you ever had a survey done on your property? If yes, provide a copy.		✓
Have you received a notice of any planned assessments? Type:		✓
Is property located in a flood plain?		✓
Any encroachments on the lot lines?		✓
Any easements? <u>permit to sub-division</u>	✓	✓
Drainage or flood problems?		✓
Property located on filled or expansive soil?		✓
Standing water problems?		✓
Is the property located in an earthquake fault?		✓
Do you have any fencing on property?		✓

N. Miscellaneous	YES	NO
Are you aware of any lead based paint in the home? If yes, indicate where:		✓
Are you aware of any other toxic substances in or around the home? If yes, what substances and where:		✓
Is there a Homeowners Association? If yes, name/phone number of contact / HOA fee: <u>\$1500 annual due January 30.</u>	✓	
Are there any pending lawsuits against HOA?		✓
Are there any special assessments on the property?		✓
Are you aware of any underground storage tanks / old septic tanks/ field liens, cistern or abandoned wells on property?	N/A	
Is there any unusual amount of noise from any source?		✓
Is there a security system on the property? If yes, is it owned or leased? <u>not activated</u>	✓	
Is there a water softener on property? If yes, is it owned or leased:		✓
Has the house ever been damaged by fire or other disaster? (ie: tornado, hail, etc.)		✓
Do you have a pool on the property? If yes, in ground or above ground? Are you aware of any problems with pool? If yes, please explain:		✓
Have you made any repairs to the property as a result of water damage? If yes, please explain:		✓
Were any animals/pets kept on the property?	✓	
Are there any stains, damage or odor caused by animals/pets? If yes, please explain what repairs were made:		✓
Tested for Radon Gas? <u>Radon added 2007</u> If yes, send copy of report	✓	
Have you ever had a MOLD test completed on the home? If yes, provide a copy of report		✓



Sibcy Cline Relocation Services Seller's Property Disclosure
Page 3 of 6

MECHANICAL

Type of service: Fuses _____ Circuit breakers Other _____

G. Electrical	YES	NO
Additions to Original Installation? <i>New Lighting</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, was work performed by licensed contractor?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Were permits taken out?		<input checked="" type="checkbox"/>

Explain: Generator was added prior to purchase in 2007.
All switch plates upgraded.

H. Plumbing	YES	NO
Are there any leaks?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Are all the plumbing fixtures in working order?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Have there been any additions?		<input checked="" type="checkbox"/>
Were permits taken out on work/additions?		<input checked="" type="checkbox"/>

Explain: All plumbing in perfect working condition. Second
question makes no sense.

I. Heating

Age of Furnace? (years) 13

Type of Furnace:
Forced Air Gravity _____ Boiler _____ Heat Pump _____ Other _____

Type of Fuel:
Gas LP Tank _____ Oil _____ Wood/Coal _____ Size of Tank _____

Buried Fuel Tanks:
No Yes _____ Type and Location _____

J. Cooling

Air Condition: No _____ Yes (*New 2012*)

Type of System:
 Central _____ Window Unit _____ Number of Units (____) Age: (____)

Type of Fuel: Electric.
Gas _____ LP Tank _____ Oil _____ Wood/Coal _____ Size of Tank _____

K. Sewer

System Type: Municipal _____ Septic _____ Holding Tank _____ Mound _____
_____ Conventional _____ Treatment System

Has your sewer ever backed up? No _____ Yes

Date of last pump _____ Date of last inspection _____ *N/A*



Sibsy Cline Relocation Services Seller's Property Disclosure		
Page 5 of 6		
N. Miscellaneous Continued	YES	NO
Are you aware of the existence of MOLD in any location on the property? If yes, please explain:		✓
Have there been any insurance claims filed on your home in the past 5 years? If yes, please explain:		✓
Are there any problem areas that exist in or on this property not covered by the questions above? If yes, please explain:		✓
Are you aware of a fire occurring in any location on the property? If yes, please explain:		✓
Do you have a sprinkler system? Are you aware of any problems with the sprinkler system? <i>no</i> If yes, please explain:	✓	

Chinese Drywall also known as Defective Drywall

During a period of building material shortages, some homes were built or renovated using defective drywall imported from or manufactured in China. Defective drywall reportedly emits levels of sulfur, methane and/or other volatile organic compounds that cause corrosion of air conditioner and refrigerator coils, copper tubing, electrical wiring, computer wiring, and other household items, as well as, create noxious odors which may also pose health risks.

Questions about your home:

Chinese Drywall	YES	NO
Does the home or certain rooms have either a sulfur-like odor or other unusual odors?		✓
Have there been repeated failures of the A/C evaporator coils (located in the air handler unit)?		✓
Are you or your household aware of visual evidence of dark or black corrosion of copper freon lines in the home?		✓
Are you or your household aware of other metallic surfaces (silverware, mirrors, chrome fixtures, accessible plumbing lines, exposed plumbing fixtures, brass components, electrical wiring, metal door hinges, electrical components, etc.) showing signs of corrosion in the home?		✓
Are you aware of the presence of Chinese/Defective Drywall in your home?		✓
Have you received any written or verbal notice from the builder, contractor, municipality, or any other entity about the possible use of these materials in the construction and/or remodeling of your residence?		✓

If you answered YES to any of the above questions pertaining to Chinese drywall, please provide additional details below:

Lead Paint – Safe Handling Notification – homes constructed prior to 1978:

Effective April 2011, Federal law now requires that contractors performing renovation of six square feet or more of painted surfaces in an interior room or more than twenty square feet of painted surfaces on the exterior of a home, be lead certified and follow specific work practices to prevent lead contamination. Lead contamination poses a health risk if not handled properly.

RLK Our initials indicate that we have not employed a contractor for renovations as described above since the laws inception and should we be required to complete any repairs or make any improvements that require a contractor, we will provide documentation to SCRS verifying that said contractor holds the proper lead certification.



Sibcy Cline Relocation Services Seller's Property Disclosure
Page 6 of 6

Permits

RS Our initials indicate that all municipal permits taken out with the intention of performing work on the above referenced property, have been closed out with the appropriate municipal authority. We further understand that should SCRS discover open permits which result in fines and/or inhibits the transfer of title, we will be responsible for the payment of such fines and/or resolution to allow for the transfer of title.

Private Transfer Fees

RS Our initials indicate that there are no known development covenants providing for "private transfer fees" to be assessed by a homeowners association, builder, or any other party. We understand that should SCRS discover any such fee, we will be responsible for payment of any outstanding amounts owed.

OWNERS ACKNOWLEDGEMENT

Owner warrants that such information is accurate, true and complete to the best of owner's knowledge and that owner has no notice or knowledge of any additional defect or problem with the Property that has not been set forth herein. Owner hereby authorizes the furnishings of foregoing information to any prospective purchaser.

Rodney Simpson Date: 11, 06, 12
Signature - Rodney Simpson

Kelley Simpson Date: 11, 06, 12
Signature - Kelley Simpson





DEPARTMENT OF COMMERCE

Seller is a Relocation Company, has not lived in the property, and makes no representation, guarantees, or warranties regarding the property or its condition.

RESIDENTIAL PROPERTY DISCLOSURE FORM

Purpose of Disclosure Form: This is a statement of certain conditions and information concerning the property actually known by the owner. An owner may or may not have lived at the property and unless the potential purchaser is informed in writing, the owner has no more information about the property than could be obtained by a careful inspection of the property by a potential purchaser. Unless the potential purchaser is otherwise informed, the owner has not conducted any inspection of generally inaccessible areas of the property. This form is required by Ohio Revised Code Section 5302.30.

THIS FORM IS NOT A WARRANTY OF ANY KIND BY THE OWNER OR BY ANY AGENT OR SUBAGENT REPRESENTING THE OWNER. THIS FORM IS NOT A SUBSTITUTE FOR ANY INSPECTIONS. POTENTIAL PURCHASERS ARE ENCOURAGED TO OBTAIN THEIR OWN PROFESSIONAL INSPECTION(S).

Owner's Statement: The statements contained in this form are made by the owner and are not the statements of the owner's agent or subagent. The statements contained in this form are provided by the owner only to potential purchasers in a transfer made by the owner. The statements are not for purchasers in any subsequent transfers. The information contained in this disclosure form does not limit the obligation of the owner to disclose an item of information that is required by any other statute or law to be disclosed in the transfer of residential real estate.

OWNER INSTRUCTIONS

Instructions to Owner: (1) Answer ALL questions. (2) Report known conditions affecting the property. (3) Attach additional pages with your signature if additional space is needed. (4) Complete this form yourself. (5) If some items do not apply to your property, write NA (not applicable). If the item to be disclosed is not within your actual knowledge, indicate Unknown.

Owner's Initials dy Date 1-3-13
Owner's Initials _____ Date _____

Purchaser's Initials _____ Date _____
Purchaser's Initials _____ Date _____



STATE OF OHIO DEPARTMENT OF COMMERCE

Seller is a Relocation Company, has not lived in the property, and makes no representation, guarantees, or warranties regarding the property or its condition

RESIDENTIAL PROPERTY DISCLOSURE FORM

Pursuant to section 5302.30 of the Revised Code and rule 1301:5-6-10 of the Administrative Code.

TO BE COMPLETED BY OWNER (Please Print)

Property Address: 7860 Lowell Square New Albany OH 43054

Owners Name(s):

Date: _____, 20____

Owner [] is [] is not occupying the property. If owner is occupying the property, since what date: _____

If owner is not occupying the property, since what date: _____

THE FOLLOWING STATEMENTS OF THE OWNER ARE BASED ON OWNER'S ACTUAL KNOWLEDGE

A) WATER SUPPLY: The source of water supply to the property is (check appropriate boxes):

- Public Water Service, Private Water Service, Private Well, Shared Well, Holding Tank, Cistern, Spring, Pond, Unknown, Other

Do you know of any current leaks, backups or other material problems with the water supply system or quality of the water? [] Yes No [] If "Yes", please describe and indicate any repairs completed (but not longer than the past 5 years): _____

Is the quantity of water sufficient for your household use? (NOTE: water usage will vary from household to household) [] Yes [] No

B) SEWER SYSTEM: The nature of the sanitary sewer system servicing the property is (check appropriate boxes):

- Public Sewer, Leach Field, Unknown, Private Sewer, Aeration Tank, Other, Septic Tank, Filtration Bed

If not a public or private sewer, date of last inspection: _____ Inspected By: _____

Do you know of any previous or current leaks, backups or other material problems with the sewer system servicing the property? Yes [] No [] If "Yes", please describe and indicate any repairs completed (but not longer than the past 5 years): _____

Information on the operation and maintenance of the type of sewage system serving the property is available from the department of health or the board of health of the health district in which the property is located.

C) ROOF: Do you know of any previous or current leaks or other material problems with the roof or rain gutters? [] Yes [] No If "Yes", please describe and indicate any repairs completed (but not longer than the past 5 years): _____

D) WATER INTRUSION: Do you know of any previous or current water leakage, water accumulation, excess moisture or other defects to the property, including but not limited to any area below grade, basement or crawl space? [] Yes [] No If "Yes", please describe and indicate any repairs completed: _____

Owner's Initials [Signature] Date 1-3-13

Purchaser's Initials _____ Date _____

Property Address 7860 South Square New Albany OH 43054

Do you know of any water or moisture related damage to floors, walls or ceilings as a result of flooding; moisture seepage; moisture condensation; ice damming; sewer overflow/backup; or leaking pipes, plumbing fixtures, or appliances? Yes No
If "Yes", please describe and indicate any repairs completed: _____

Have you ever had the property inspected for mold by a qualified inspector? Yes No
If "Yes", please describe and indicate whether you have an inspection report and any remediation undertaken: _____

Purchaser is advised that every home contains mold. Some people are more sensitive to mold than others. If concerned about this issue, purchaser is encouraged to have a mold inspection done by a qualified inspector.

E) STRUCTURAL COMPONENTS (FOUNDATION, BASEMENT/CRAWL SPACE, FLOORS, INTERIOR AND EXTERIOR WALLS): Do you know of any previous or current movement, shifting, deterioration, material cracks/settling (other than visible minor cracks or blemishes) or other material problems with the foundation, basement/crawl space, floors, or interior/exterior walls?
 Yes No If "Yes", please describe and indicate any repairs, alterations or modifications to control the cause or effect of any problem identified (but not longer than the past 5 years): _____

Seller is a Relocation Company, has not lived in the property, and makes no representation, guarantees, or warranties regarding the property or its condition

Do you know of any previous or current fire or smoke damage to the property? Yes No
If "Yes", please describe and indicate any repairs completed: _____

F) WOOD DESTROYING INSECTS/TERMITES: Do you know of any previous/current presence of any wood destroying insects/termites in or on the property or any existing damage to the property caused by wood destroying insects/termites? Yes No
If "Yes", please describe and indicate any inspection or treatment (but not longer than the past 5 years): _____

G) MECHANICAL SYSTEMS: Do you know of any previous or current problems or defects with the following existing mechanical systems? If your property does not have the mechanical system, mark N/A (Not Applicable).

	YES	NO	N/A		YES	NO	N/A
1) Electrical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8) Water softener	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2) Plumbing (pipes)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	a. Is water softener leased?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3) Central heating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9) Security System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4) Central Air conditioning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	a. Is security system leased?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5) Sump pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10) Central vacuum	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6) Fireplace/chimney	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11) Built in appliances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7) Lawn sprinkler	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12) Other mechanical systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to any of the above questions is "Yes", please describe and indicate any repairs to the mechanical system (but not longer than the past 5 years): _____

H) PRESENCE OF HAZARDOUS MATERIALS: Do you know of the previous or current presence of any of the below identified hazardous materials on the property?

	Yes	No	Unknown
1) Lead-Based Paint	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2) Asbestos	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3) Urea-Formaldehyde Foam Insulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4) Radon Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. If "Yes", indicate level of gas if known _____			
5) Other toxic or hazardous substances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to any of the above questions is "Yes", please describe and indicate any repairs, remediation or mitigation to the property: _____

Owner's Initials dy Date 1-3-13
Owner's Initials _____ Date _____

Purchaser's Initials _____ Date _____
Purchaser's Initials _____ Date _____

Property Address 2860 Lowell Square New Albany OH 43054

I) UNDERGROUND STORAGE TANKS/WELLS: Do you know of any underground storage tanks (existing or removed), oil or natural gas wells (plugged or unplugged), or abandoned water wells on the property? Yes No
If "Yes", please describe: _____

Do you know of any oil, gas, or other mineral right leases on the property? Yes No

Purchaser should exercise whatever due diligence purchaser deems necessary with respect to oil, gas, and other mineral rights. Information may be obtained from records contained within the recorder's office in the county where the property is located.

J) FLOOD PLAIN/LAKE ERIE COASTAL EROSION AREA: Is the property located in a designated flood plain? Yes No Unknown
Is the property or any portion of the property included in a Lake Erie Coastal Erosion Area? Yes No Unknown

K) DRAINAGE/EROSION: Do you know of any previous or current flooding, drainage, grading or erosion problems affecting the property? Yes No
If "Yes", please describe and indicate any repairs, modifications or alterations to the property or other attempts to control any problems (but not longer than the past 5 years): _____

Seller is a Relocation Company, has not lived in the property, and makes no representation, guarantees, or warranties regarding the property or its condition

L) ZONING/CODE VIOLATIONS/ASSESSMENTS/HOMEOWNERS' ASSOCIATION: Do you know of any violations of building or housing codes, zoning ordinances affecting the property or any nonconforming uses of the property? Yes No
If "Yes", please describe: _____

Is the structure on the property designated by any governmental authority as a historic building or as being located in an historic district? (NOTE: such designation may limit changes or improvements that may be made to the property). Yes No
If "Yes", please describe: _____

Do you know of any recent or proposed assessments, fees or abatements, which could affect the property? Yes No
If "Yes", please describe: _____

List any assessments paid in full (date/amount) _____
List any current assessments: _____ monthly fee _____ Length of payment (years _____ months _____)

Do you know of any recent or proposed rules or regulations of, or the payment of any fees or charges associated with this property, including but not limited to a Community Association, SID, CID, LID, etc. Yes No
If "Yes", please describe (amount) _____

M) BOUNDARY LINES/ENCROACHMENTS/SHARED DRIVEWAY/PARTY WALLS: Do you know of any of the following conditions affecting the property? Yes No Yes No
1) Boundary Agreement 4) Shared Driveway
2) Boundary Dispute 5) Party Walls
3) Recent Boundary Change 6) Encroachments From or on Adjacent Property
If the answer to any of the above questions is "Yes", please describe: _____

N) OTHER KNOWN MATERIAL DEFECTS: The following are other known material defects in or on the property: _____

For purposes of this section, material defects would include any non-observable physical condition existing on the property that could be dangerous to anyone occupying the property or any non-observable physical condition that could inhibit a person's use of the property.

Owner's Initials ly Date 1-3-13
Owner's Initials _____ Date _____

Purchaser's Initials _____ Date _____
Purchaser's Initials _____ Date _____

Property Address 7860 Lowell Square New Albany OH 43054

CERTIFICATION OF OWNER

Owner certifies that the statements contained in this form are made in good faith, and to the best of the Owner's knowledge as of the date signed by the Owner. Owner is advised that the information contained in this disclosure does not limit the obligation of the owner to disclose an item of information that is required by any other state or local law, and may extend to preclude fraud, either by misrepresentation, concealment or nondisclosure in a transaction involving the property or its residential real estate.

Seller is a Relocation Company that has not lived in the property and does not represent, warrant, guarantee, or condition the property or its condition.

OWNER: Sandra Yacobi
OWNER: SIBCY CLINE RELOCATION SERVICES, INC.

DATE: 1-3-13
DATE: _____

RECEIPT AND ACKNOWLEDGEMENT OF POTENTIAL PURCHASERS

Potential purchasers are advised that the owner has no obligation to update this form but may do so according to Revised Code Section 5302.30(G). Pursuant to Ohio Revised Code Section 5302.30(K), if this form is not provided to you prior to the time you enter into a purchase contract for the property, you may rescind the purchase contract by delivering a signed and dated document of rescission to Owner or Owner's agent, provided the document of rescission is delivered prior to all three of the following dates: 1) the date of closing; 2) 30 days after the Owner accepted your offer; and 3) within 3 business days following your receipt or your agent's receipt of this form or an amendment of this form.

Owner makes no representations with respect to any offsite conditions. Purchaser should exercise whatever due diligence purchaser deems necessary with respect to offsite issues that may affect purchaser's decision to purchase the property.

Purchaser should exercise whatever due diligence purchaser deems necessary with respect to Ohio's Sex Offender Registration and Notification Law (commonly referred to as "Megan's Law"). This law requires the local Sheriff to provide written notice to neighbors if a sex offender resides or intends to reside in the area. The notice provided by the Sheriff is a public record and is open to inspection under Ohio's Public Records Law. If concerned about this issue, purchaser assumes responsibility to obtain information from the Sheriff's office regarding the notices they have provided pursuant to Megan's Law.

Purchaser should exercise whatever due diligence purchaser deems necessary with respect to abandoned underground mines. If concerned about this issue, purchaser assumes responsibility to obtain information from the Ohio Department of Natural Resources. The Department maintains an online map of known abandoned underground mines on their website at www.dnr.state.oh.us.

I/WE ACKNOWLEDGE RECEIPT OF A COPY OF THIS DISCLOSURE FORM AND UNDERSTAND THAT THE STATEMENTS ARE MADE BASED ON THE OWNERS ACTUAL KNOWLEDGE AS OF THE DATE SIGNED BY THE OWNER.

My/Our Signature below does not constitute approval of any disclosed condition as represented herein by the owner.

PURCHASER: _____ DATE: _____
PURCHASER: _____ DATE: _____